

MATANUSKA-SUSITNA BOROUGH

350 East Dahlia Avenue, Palmer, Alaska 99645 – 907-861-7874

PLATTING OFFICER
Fred Wagner

PLATTING
ADMINISTRATIVE SPECIALIST
Kayla Kinneen



PLATTING TECHNICIANS
Matthew Goddard
Chris Curlin
Natasha Heindel

PLATTING ASSISTANT

ABBREVIATED PLAT AGENDA

ASSEMBLY CHAMBERS

350 EAST DAHLIA AVENUE, PALMER

REGULAR MEETING

8:30 A.M.

May 1, 2024

Public Participation: To participate in the Abbreviated Plat Hearing, you can attend in person, or you can submit written comments by email to plattting@matsugov.us or by mail to Matanuska-Susitna Borough, Platting Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

1. INTRODUCTION

A. Introduction of Staff

2. UNFINISHED BUSINESS:

(None)

3. PUBLIC HEARINGS:

A. **NORTHERN LIGHTS ELK RANCH:** The request is to create three lots from Government Lots 1,2,3, and 4, and the S ½ of the N ½ . (Tax ID's 18N01E04B001 & 18N01E04A002) to be known as **Northern Lights Elk Ranch**, containing 319.64 acres +/- . The property is located directly east of N. Russet Road, north of the Little Susitna River, and south of E. Edgerton Parks Road; within the N ½ Section 04, Township 18 North, Range 01 East, Seward Meridian, Alaska. In the Fishhook Community Council and Assembly District 1. *(Petitioner/Owner: Cook Raevsky Ezra LK LLC, Staff: Chris Curlin, Case #2024-042)*

B. **FENNER'S:** The request is to create three lots from Lot 12, Riddel's Original (Plat # 66-12), to be known as **FENNER'S**, containing 5.01 acres +/- . The property is located directly north of E. Spruce Avenue, east of N. Lucille Street, and directly west of N. Douglas Drive (Tax ID # 1050000L012); within the SW ¼ Section 34, Township 18 North, Range 01 West, Seward Meridian, Alaska. In the Tanaina Community Council and Assembly District # 6. *(Petitioner/Owner: John Fenner, Staff: Chris Curlin, Case #2024-046)*

- C. **EPHESIANS 2:8 ESTATES**: The request is to create one lot from Lots 5 & 6, Himalayan Ridge, Plat No. 2020-116, to be known as **EPHESIANS 2:8 ESTATES**, containing 1.962 acres +/- . The parcel is located east and north of E. Maud Road and directly east of N. Yeti Street (Tax ID#s 8068000L005/L006); within Section 06, Township 17 North, Range 03 East, Seward Meridian, Alaska. In the Butte Community Council and Assembly District #1. (*Petitioner/Owner: Morgan & Paul Duclos, Staff: Amy Otto-Buchanan, Case #2024-049*)
- D. **DEONE LOTS 2A & 2B**: The request is to create two lots from Lot 2, DEONE, (Plat# 2003-57) to be known as **DEONE Lots 2A & 2B**, containing 9.13 acres +/- . (Tax ID# 5364000L002); The property is located directly east of S. Knik Goose Bay Road and directly south of E. Palmer Wasilla Highway; within the N ¼ Section 15, Township 17 North, Range 01 West, Seward Meridian, Alaska. In Assembly District # 1. (*Petitioner/Owner: Southcentral Foundation, Staff: Chris Curlin, Case #2024-052*)
- E. **SUN VALLEY FERRIS**: The request is to create two lots from Lot 13B, Sun Valley Lot 13A and 13B, Block 4 (Plat # 99-47) to be known as **Sun Valley Ferris**, containing 4.0 acres +/- . The property is located directly east of N. Doro Drive, south E. Blue Mountain Lane, and west of N. Sun Valley Drive, (Tax ID # 4861B04L013B); within the S ¼ Section 35, Township 19 North, Range 01 East, Seward Meridian, Alaska. In the Fishhook Community Council and Assembly District 1. (*Petitioner/Owner: Linda Ferris, Staff: Chris Curlin, Case #2024-054*)

THE ABBREVIATED PLAT HEARING WILL CONVENE AT **8:30 A.M** on **May 1, 2024**, in **ASSEMBLY CHAMBERS** at the Dorothy Swanda Jones Building, 350 E. Dahlia Avenue, Palmer, Alaska.

Public Hearing Process

- **Platting Officer states/reads the case/item to be addressed into the record.**
- **Public Hearing Notices:** Secretary states the number of public hearing notices sent out and the date sent.
- **Staff Report:** The Platting Officer gives an overview of the project for the hearing and the public.
- **Public Testimony:** Members of the public are invited to sign in and testify before the officer.
 - **3-minute time limit per person for members of the public.**
 - The time limit may be extended at the discretion of the Platting Officer.
- **The public hearing is closed by the Officer.** No further public input is appropriate.
- **Petitioner Comments:** Petitioner, or his/her representative, comes before the officer to discuss staff recommendations and compliance with Title 43 and other applicable regulations.
 - **Testimony is limited to five (5) minutes for the petitioner/applicant.**
 - The time limit may be extended at the discretion of the Platting Officer
- **Motion to Approve:** Motion to approve is made by the Platting Officer.
 - No further unsolicited input from petitioner is appropriate.
 - Conditions and Findings must be written for all decisions made regarding the action being taken, whether it passed or failed.
 - Decisions are final unless reconsidered by the platting board MSB 43.35.005 or appealed to the board of adjustments and appeals. MSB 43.35.015

3A

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
May 1, 2024

ABBREVIATED PLAT: NORTHERN LIGHTS ELK RANCH
LEGAL DESCRIPTION: SEC 04, T18N, R01E S.M., AK
PETITIONERS: COOK RAEVSKY EZRA LK, LLC
SURVEYOR/ENGINEER: HANSON LAND SOLUTIONS
ACRES: 319.64 +/- PARCELS: 2
REVIEWED BY: CHRIS CURLIN CASE #: 2024-042

REQUEST:

The request is to create three lots from Government Lots 1,2,3, and 4, and the S ½ of the N ½ . (Tax ID's 18N01E04B001 & 18N01E04A002) to be known as **Northern Lights Elk Ranch**, containing 319.64 acres +/- . The property is located directly east of N. Russet Road, north of the Little Susitna River, and south of E. Edgerton Parks Road; within the N ½ Section 04, Township 18 North, Range 01 East, Seward Meridian, Alaska.

EXHIBITS:

Vicinity Map and Aerial Photos
Topographic Narrative

Exhibit A – 4 pgs
Exhibit B – 1 pg

COMMENTS:

USACE
MSB Land Management
MSB Pre-design and Engineering
MSB Permit Center
Utilities

Exhibit C – 1 pg
Exhibit D – 1 pg
Exhibit E – 1 pg
Exhibit F – 1 pg
Exhibit G – 3 pgs

DISCUSSION: The proposed subdivision is creating two lots. Lot 1 will contain 39.94 acres and Lot 2 will contain 39.95 acres. Proposed lots will take access from N. Russet Road, a Borough owned and maintained road.

Soils Report: A Topographic Narrative (Exhibit B) was submitted pursuant to MSB 43.281.20(1)(i)(i), by Craig E. Hanson, PLS.

COMMENTS:

USACE (**Exhibit C**) Did not comment and sent general information about dredging.

MSB Land Management (**Exhibit D**) Both parcels are held to the agriculture requirements under MSB Title 13, in which assembly approval by ordinance for any subdivision or re-subdivision of Title 13 Agriculture lands is needed. As a condition of final plat approval, the petitioners must make application to MSB Land & Resource Management, Asset Manager, to move legislation forward to the assembly for approval of the subdivision. (**Recommendation # 3**) Land Management does not object to the platting action as long as assembly approval is granted as noted above.

DPW Pre-design and Engineering (**Exhibit E**) notes applicant should work with Land Management to ensure all of the requirements for the Agricultural Rights on the property are met. (**Recommendation # 3**) Alta Road is not on a section line easement. ROW is dedicated on Bk 352 pg. 574, Bk 352 Pg. 570, Bk 352 Pg. 572, Bk 31 Pg. 410. Show the location of all waterbodies as well as their flood hazard areas on the preliminary plat.

MSB Permit Center (**Exhibit F**) has no Comments.

Utilities: (**Exhibit G**) ENSTAR has no comments or recommendations. GCI has no comments or objections. MEA and MTA did not respond.

There were no objections received from Borough departments, outside agencies or the public at the time of this staff report.

CONCLUSION

The plat of Northern Lights Elk Ranch is consistent with AS 29.40.070 *Platting Regulations* and MSB 43.15.025 *Abbreviated Plats*. A soils report was submitted, legal and physical access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

FINDINGS of FACT:

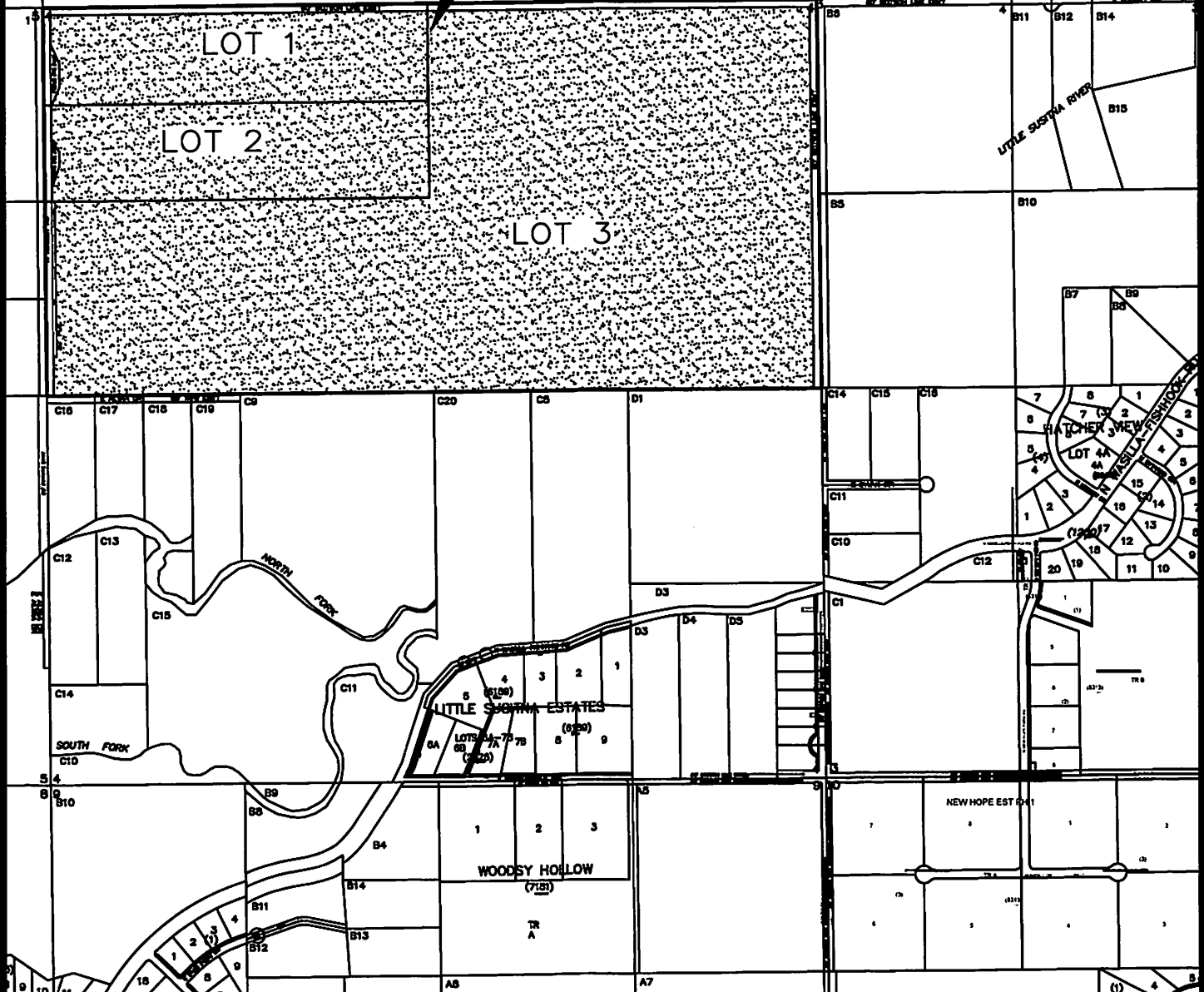
1. The abbreviated plat of Northern Lights Elk Ranch is consistent with AS 29.40.070 *Platting Regulations*, and MSB 43.15.025 *Abbreviated Plats*.
2. A Topographic Narrative was submitted pursuant to MSB 43.281.20(1)(i)(i), All lots have the required usable area.
3. All lots will have the required frontage pursuant to MSB 43.20.320.
4. There were no objections from any borough departments, outside agencies, utilities, or the public.
5. At the time of staff report write-up, there were no responses to the Request for Comments from; Community Council #10 Fishhook; Road Service Area #16 South Colony; MSB Emergency Services, Community Development, or Assessments; MTA or MEA.

RECOMMENDED CONDITIONS OF APPROVAL:

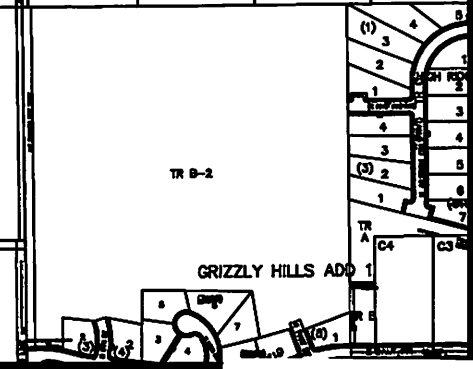
Staff recommends approval of the abbreviated plat of Northern Lights Elk Ranch, contingent on the following recommendations:

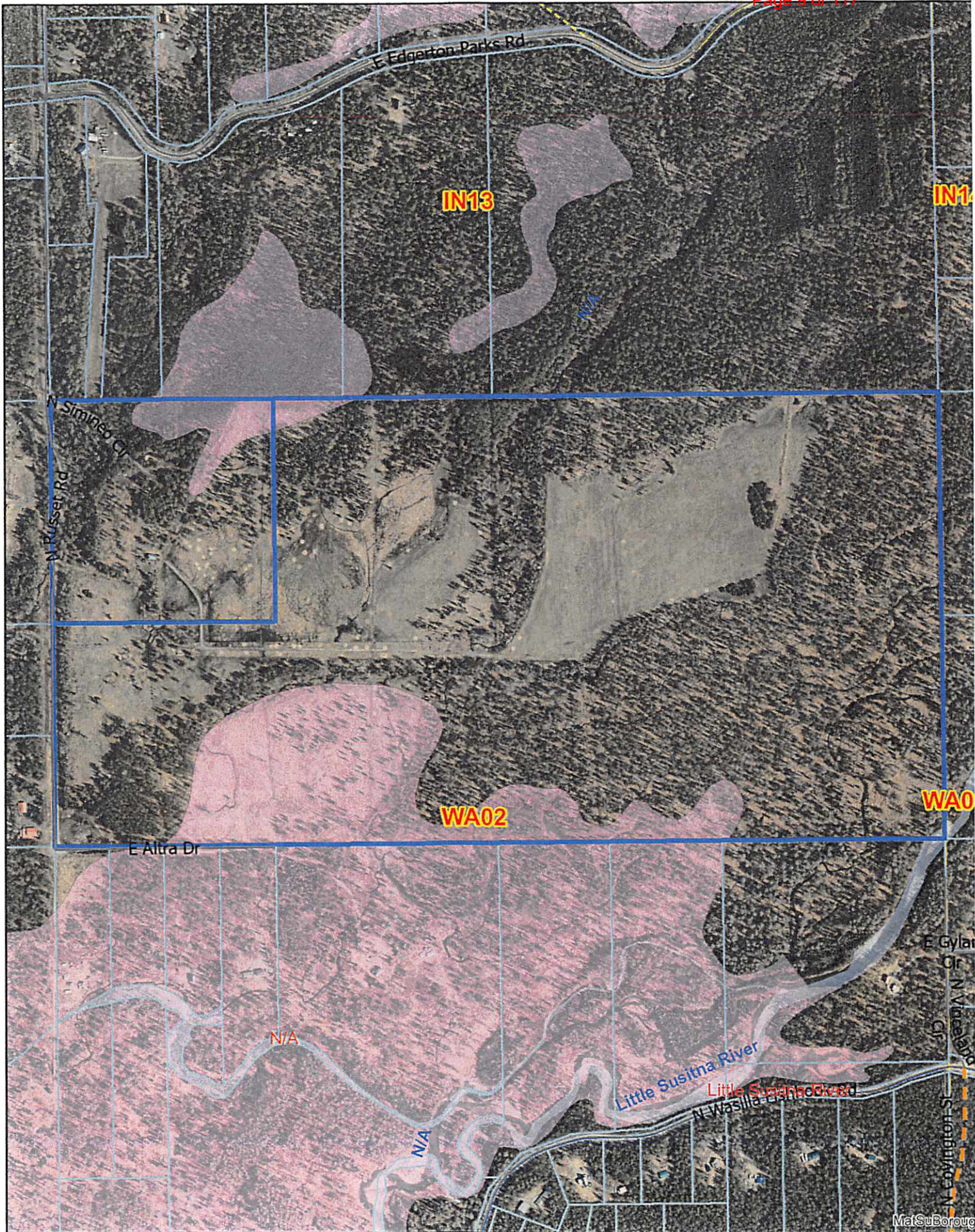
1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Make application to MSB Land & Resource Management, Asset Manager, to move legislation forward to the assembly for approval of the subdivision.
4. Pay postage and advertising fees.
5. Show all easements of record on final plat.
6. Submit recording fees, payable to Department of Natural Resources (DNR).
7. Submit final plat in full compliance with Title 43.

SUBJECT PROPERTY

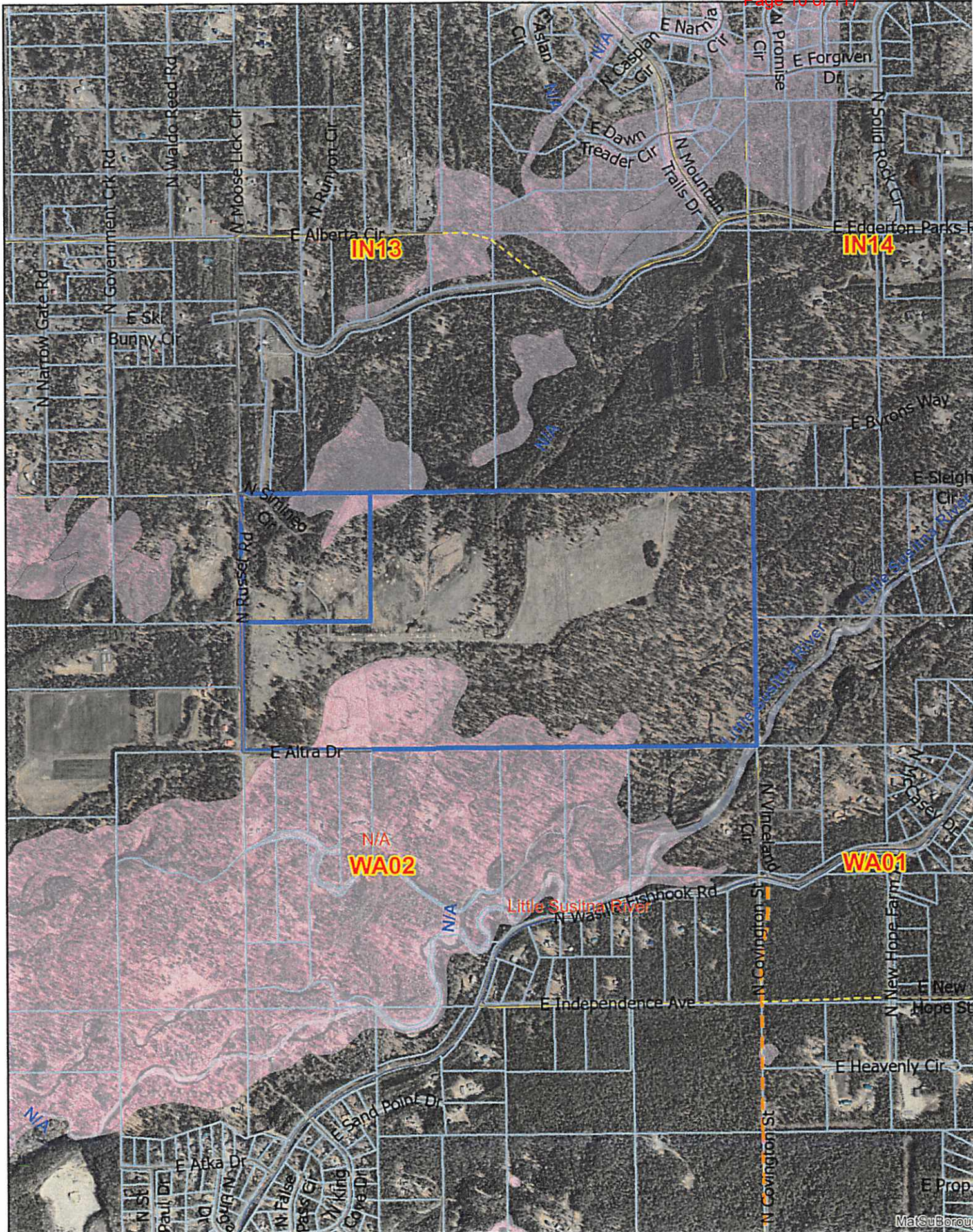


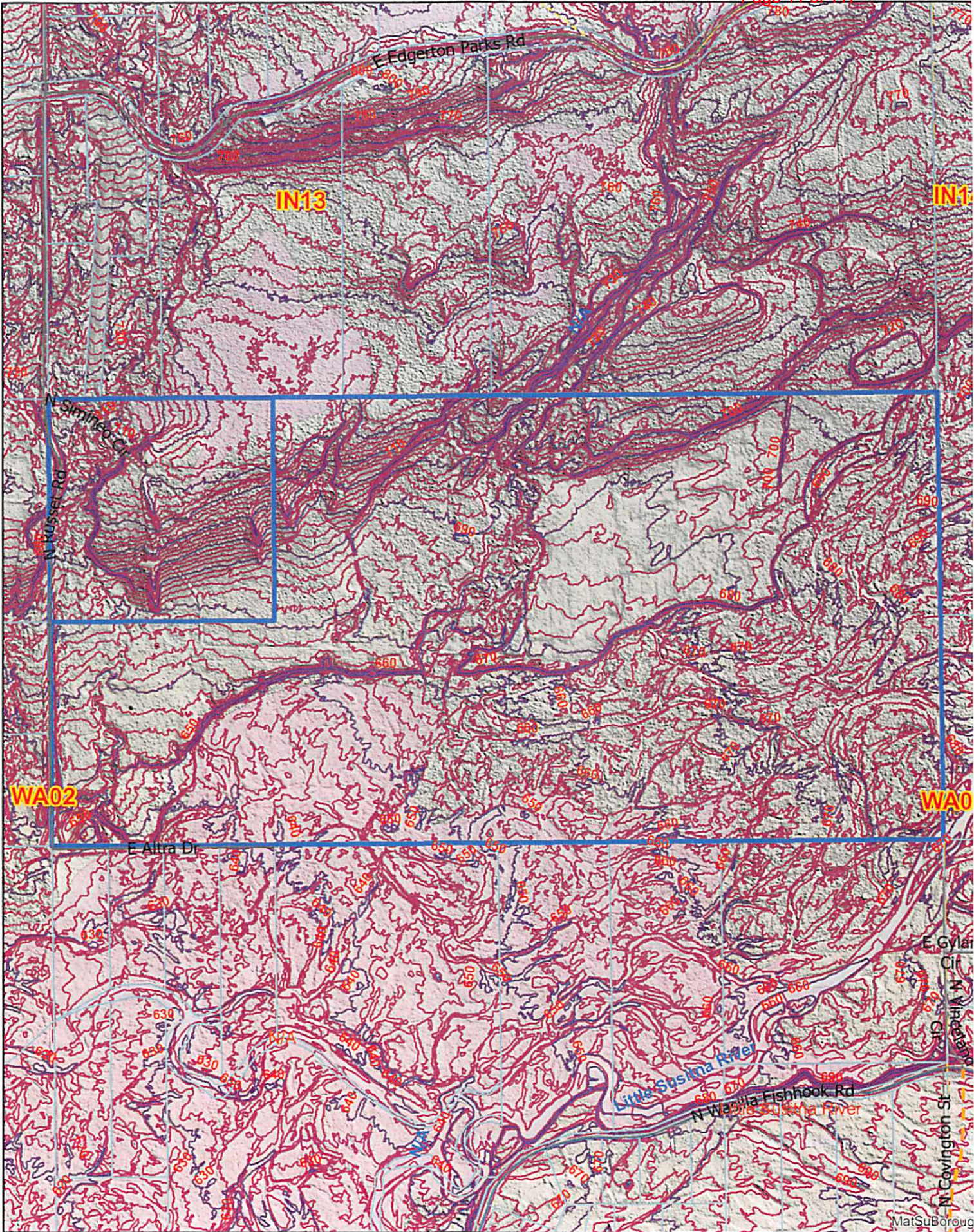
VICINITY MAP
FOR PROPOSED NORTHERN LIGHTS ELK RANCH
SUBDIVISION
LOCATED WITHIN
SECTION 04, T18N, R01E, SEWARD MERIDIAN
ALASKA
WA 02 MAP





710 355 0 710 Feet





710 355 0 710 Feet

HANSON LAND SOLUTIONS
SURVEYING, ENGINEERING & LAND DEVELOPMENT SERVICES
305 E. Fireweed Ave. Palmer, AK 99645



RECEIVED
MAR 11 2024
PLATTING

USEABLE AREA: TOPOGRAPHIC NARRATIVE

Northern Lights Elk RAnch
A SUBDIVISION OF
Governmen Lots 1, 2, 3 and 4 and the S1/2 of the N1/2 of Section 4, T. 18N. R. 1E. Seward Meridian

INTRODUCTION


The following narrative presents a summary of visible observations, relevant known local parameters and record data sufficient to describe the topographic features of the described property

NARRATIVE

Lots created with the proposed Northern Lights Elk Ranch subdivision consist of (2) 40 acre parcels and (1) 240 acre parcel. The land consists generally of 3 regions of elevation with the higher and lower regions primarily covered with deciduous trees and the middle elevation region covered with fields.

The lot is generally higher in the Northwest corner, with the land sloping southeasterly with 3%-8% slopes to a middle region that is fairly flat running from the Northeast corner to the southwest corner. A distinctive steep ridge with about 10' in elevation change runs the length of this middle region along it's southerly side. This drop leads to the lower region, an area of unulating topography that gradually slopes westerly with a 30' elevation drop from east to west.

Small streams drain the area to tributaries of the Little Su River, with a larger stranded branch of that river curving briefly into the south-central portion of the parcel.



Craig E. Hanson PLS 7/8/24
Professional Land Surveyor Date



Jesse Curlin

From: Manbeck, Rebecca S CIV USARMY CEPOA (USA) <Rebecca.S.Manbeck2@usace.army.mil>
Sent: Thursday, April 4, 2024 10:10 AM
To: Jesse Curlin
Subject: RFC Northern Lights Elk Ranch

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning,

Thank you for the opportunity to provide comments on the Northern Lights Elk Ranch project.

Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S.

A copy of the DA permit application can be found online at www.poa.usace.army.mil/Missions/Regulatory.
Sample drawings can also be found on our website at www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). The Corps defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

You are welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox (regpagemaster@usace.army.mil) and you will be assigned a project manager to assist you. Please feel free to contact our main line if you have any questions or concerns at 907-753-2712.

Respectfully,

Rebecca (Becky) Manbeck
Regulatory Specialist
North Central Section
U.S. Army Corps Engineers – Alaska District
Rebecca.S.Manbeck2@usace.army.mil
Phone: (907)-251-6716



**US Army Corps
of Engineers®**



MATANUSKA-SUSITNA BOROUGH

Community Development

Land & Resource Management

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7869 • Fax (907) 861-8635

MEMORANDUM

DATE: March 28, 2024
TO: Fred Wagner, Platting Officer
FROM: Land & Resource Management
SUBJECT: Preliminary Plat Comments / Case #2024-042

Platting Tech: Chris Curlin
Public Hearing: April 24, 2024
Applicant / Petitioner: Cook Raevsky Ezra LK LLC
TRS: 18N01E04
Tax ID: 18N01E04A002 & 18N01E04B001
Subd: Northern Lights Elk Ranch
Tax Map: WA 02

Comments:

- Both parcels are held to the agriculture requirements under MSB Title 13, in which assembly approval by ordinance for any subdivision or re-subdivision of Title 13 Agriculture lands is needed.
- As a condition of final plat approval, the petitioners must make application to MSB Land & Resource Management, Asset Manager, to move legislation forward to the assembly for approval of the subdivision.
- Land Management does not object to the platting action as long as assembly approval is granted as noted above.

Jesse Curlin

From: Daniel Dahms
Sent: Tuesday, April 9, 2024 1:47 PM
To: Jesse Curlin
Cc: Brad Sworts; Jamie Taylor; Tammy Simmons
Subject: RE: RFC Northern Lights Elk Ranch (CC)

Chris,

- Applicant should work with Land Management to ensure all of the requirements for the Agricultural Rights on the property are met.
- Alta Road is not on a section line easement. ROW is dedicated on Bk 352 pg. 574, Bk 352 Pg. 570, Bk 352 Pg. 572, Bk 31 Pg. 410.
- Show the location of all waterbodies as well as their flood hazard areas on the preliminary plat.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Friday, March 22, 2024 3:57 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net; timhaledistrict1@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Northern Lights Elk Ranch (CC)

Hello,

The following link is a request for comments on the proposed Northern Lights Elk Ranch. Please ensure all comments have been submitted by April 10, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

 [Northern Lights Elk Ranch](#)

Sincerely,

Jesse Curlin

From: Permit Center
Sent: Tuesday, March 26, 2024 8:36 AM
To: Jesse Curlin
Subject: RE: RFC Northern Lights Elk Ranch (CC)

Chris, good morning sir. The Permit Center has no comments for this proposal.

Brandon Tucker
Permit Technician
[Matanuska-Susitna Borough Permit Center](#)
350 E Dahlia Ave
Palmer AK 99645
P (907) 861-7871
F (907) 861-8158

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Friday, March 22, 2024 3:57 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net; timhaledistrict1@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Northern Lights Elk Ranch (CC)

Hello,

The following link is a request for comments on the proposed Northern Lights Elk Ranch.
Please ensure all comments have been submitted by April 10, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

 [Northern Lights Elk Ranch](#)

Sincerely,

Jesse C. "Chris" Curlin
Platting Technician
Matanuska-Susitna Borough



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

April 10, 2024

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary and abbreviated plats and has **no comments or recommendations**.

- **Meadow Creek Homestead**
(MSB Case# 2024-040)
- **Virgil Eckert 2024**
(MSB Case# 2024-041)
- **Northern Lights Elk Ranch**
(MSB Case# 2024-042)
- **Fenner's**
(MSB Case# 2024-046)

If you have any questions, please feel free to contact me at (907) 714-7521 or by email at skylar.furlong@enstarnaturalgas.com.

Sincerely,

Skylar Furlong

Skylar Furlong
Environmental Permitting & Compliance Specialist
ENSTAR Natural Gas Company, LLC

Jesse Curlin

From: OSP Design Group <ospdesign@gci.com>
Sent: Monday, April 8, 2024 6:24 PM
To: Jesse Curlin
Cc: OSP Design Group
Subject: RE: RFC Northern Lights Elk Ranch (CC)
Attachments: Agenda Plat.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Jesse,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

GCI | OSP Design

e: OSPDesign@gci.com | w: www.gci.com

From: Jesse Curlin <Jesse.Curlin@matsugov.us>

Sent: Friday, March 22, 2024 3:57 PM

To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov; Myers, Sarah E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net; timhaledistrict1@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>

Subject: RFC Northern Lights Elk Ranch (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments on the proposed Northern Lights Elk Ranch.

Please ensure all comments have been submitted by April 10, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

 [Northern Lights Elk Ranch](#)

Sincerely,

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSTITNA BOROUGH, AND THAT THE PLAN HAS BEEN APPROVED BY THE PLANNING AUTHORITY BY PLAT RESOLUTION NUMBER 2024-01 AND THAT THIS PLAN HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAN IS LOCATED.

PLANNING AND LAND USE DIRECTOR _____ DATE _____

ATTEST: _____
(PLATTING CLERK)

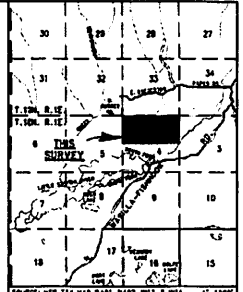
LEGEND

- ⊕ RECOVERED BRASS/PLASTIC BRASS CAP OR IRON PIPE
- ⊕ RECOVERED "M" ALUMINUM POST MARKER
- ⊕ SET PLASTIC CAP ON "M" MARKER AT ALL CORNERS, PT'S, PC'S
- MEASURED DATA
- RECORD FOR MATANUSKA (1915)
- ⊕ SURVEY POINT NUMBER

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____ 20 _____ AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR REEVALUATION, HEREON HAVE BEEN PAID.

TAX COLLECTION OFFICIAL _____ DATE _____
(MATANUSKA-SUSTITNA BOROUGH)

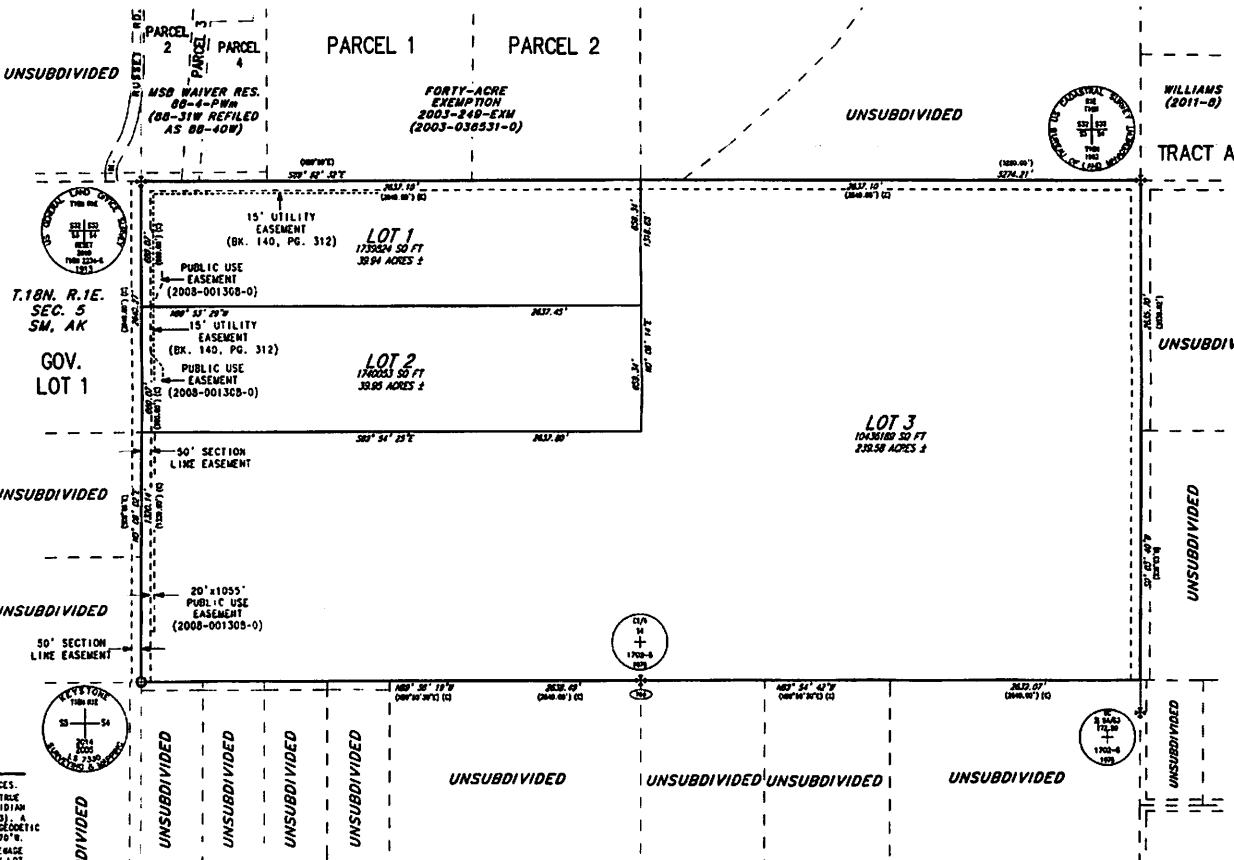


SURVEYOR'S CERTIFICATE



I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA, AND THAT THIS PLAN REPRESENTS A WORK DONE BY ME OR UNDER MY SUPERVISION AND THAT THE RECORDS SHOWN ON THIS PLAN ACCURATELY AND CORRECTLY REFLECT THE TRUE AND CORRECT LOCATION OF THE BOUNDARIES OF THE LAND SHOWN ON THIS PLAN.

REGISTERED LAND SURVEYOR



CERTIFICATE OF OWNERSHIP
WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT WE ADOPT THIS PLAN OF SUBDIVISION BY OUR FREE CONSENT.

NAME (STATUS) _____ DATE _____
COOK RAEVEY ETRA LK, LLC
510 S. PALMER AVE.
WHEATON, IL 60187

NOTARY ACKNOWLEDGEMENT
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____ 20____
FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

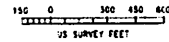
CERTIFICATE OF OWNERSHIP
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT.

EMPLOYEE (MANAGER) _____ DATE _____
MATANUSKA-SUSTITNA BOROUGH
538 E. DANIELA AVE.
PALMER, AK 99643-8438

NOTARY ACKNOWLEDGEMENT
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____ 20____
FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

- NOTES**
1. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
 2. THE BASIS OF BEARING ON THIS PLAN IS TRUE NORTH WITH RESPECT TO THE LONGITUDINAL MERIDIAN THROUGH THE CENTER "C" (SURVEY POINT 703). A RECOVERED BRASS CAP WITH A NETWORK GNS GEODETIC STATION OF 81° 40' 43.97" N 149° 17' 04.70" W.
 3. INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE OSEAL SYSTEM SHALL BE PERMITTED ON ANY LOT AS THE SYSTEM IS LOCATED, CONSTRUCTED, AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS, ORDINANCES, AND RECOMMENDATIONS OF THE STATE OF ALASKA DEPARTMENT OF ENVIRONMENTAL PROTECTION, WHICH COVERS THOSE SYSTEMS.
 4. THERE MAY BE FEDERAL, STATE, AND LOCAL ORDINANCES COVERING LAND USE. THE INDIVIDUAL PLAT OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE LOCATION OF PARCELS SHOWN ON THE PLAN TO BE RECORDED.



CERTIFICATE OF OWNERSHIP
I HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT WE ADOPT THIS PLAN OF SUBDIVISION BY OUR FREE CONSENT.

NAME (STATUS) _____ DATE _____
FILE B. COOK
512 S. PALM 115
1150 S. COLONY WAY
PALMER, AK 99643

WHEATON, IL 60187

NOTARY ACKNOWLEDGEMENT
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____ 20____
FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

Agenda Copy

A PLAT OF
**NORTHERN LIGHTS
ELK RANCH**
A SUBDIVISION OF
GOV. LOTS 1, 2, 3, AND 4
AND
THE SW 1/4 OF THE NE 1/4
PALMER RECORDING DISTRICT
THIRD JUDICIAL DISTRICT
STATE OF ALASKA
CONTAINING 318.84 ACRES MORE OR LESS

**HANSON
LAND SOLUTIONS**
ALASKA BUSINESS LICENSE #1525
305 EAST FIREWEED AVENUE
PALMER, ALASKA, 99645
(907) 746-7335

FILE: P23-181-01-01 SCALE: 1"=200' (1/8"=24')

EXHIBIT G-3

B

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
May 1, 2024

ABBREVIATED PLAT: FENNER'S
LEGAL DESCRIPTION: SEC 34, T18N, R01W S.M., AK
PETITIONERS: JOHN FENNER
SURVEYOR/ENGINEER: BULL MOOSE / HOLLER ENGINEERING
ACRES: 5.01 +/- PARCELS: 3
REVIEWED BY: CHRIS CURLIN CASE #: 2024-046

REQUEST:

The request is to create three lots from Lot 12, Riddel's Original (Plat # 66-12), to be known as FENNER'S, containing 5.01 acres +/- . The property is located directly north of E. Spruce Avenue, east of N. Lucille Street, and directly west of N. Douglas Drive; within the SW ¼ Section 34, Township 18 North, Range 01 West, Seward Meridian, Alaska.

EXHIBITS:

Vicinity Map and Aerial Photos	Exhibit A – 4 pgs
Soils Report	Exhibit B – 6 pgs
Access Distance Calculations	Exhibit C – 1 pg

COMMENTS:

USACE	Exhibit D – 1 pg
MSB DPW	Exhibit E – 1 pg
MSB Permit Center	Exhibit F – 1 pg
Utilities	Exhibit G – 4 pgs
Public	Exhibit H – 1 pg

DISCUSSION: The proposed subdivision is creating three lots from Lot 12, Riddel's Original. The proposed lots will contain 1.27 to 2.36 acres. Access will be from N. Douglas Drive, a MSB owned and maintained road.

Soils Report: A Soils Report was submitted (Exhibit B), pursuant to MSB 43.20.281(A)(1)(i)(i). The report thoroughly describes the land involved in this proposed platting action. Soils evaluation included one new testhole on the project, review of existing testholes on and adjacent to the project site, review

of the available topography information, review of aerial imagery and other observations at the site. See the attached testhole location and topography map for details. The report states that each of the proposed lots labeled 1,2, & 3 will each contain over 10,000 square feet of contiguous useable septic area, and an additional 10,000 square feet of useable building area.

COMMENTS:

USACE (**Exhibit D**) Did not comment and sent general information about dredging.

MSB DPW PD&E (**Exhibit E**) Has no comment.

MSB Permit Center (**Exhibit F**) Has no comment.

Utilities: (**Exhibit G**) ENSTAR has no comments. GCI has no comments or objections. MTA has no comment. MTA did not respond.

There were no objections received from Borough departments, outside agencies or the public at the time of this staff report.

Public (**Exhibit H**) Charles Dillard, owner of Lot 4 to the north, has no objection.

CONCLUSION

The plat of FENNER'S is consistent with AS 29.40.070 *Platting Regulations* and MSB 43.15.025 *Abbreviated Plats*. A soils report was submitted, legal and physical access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

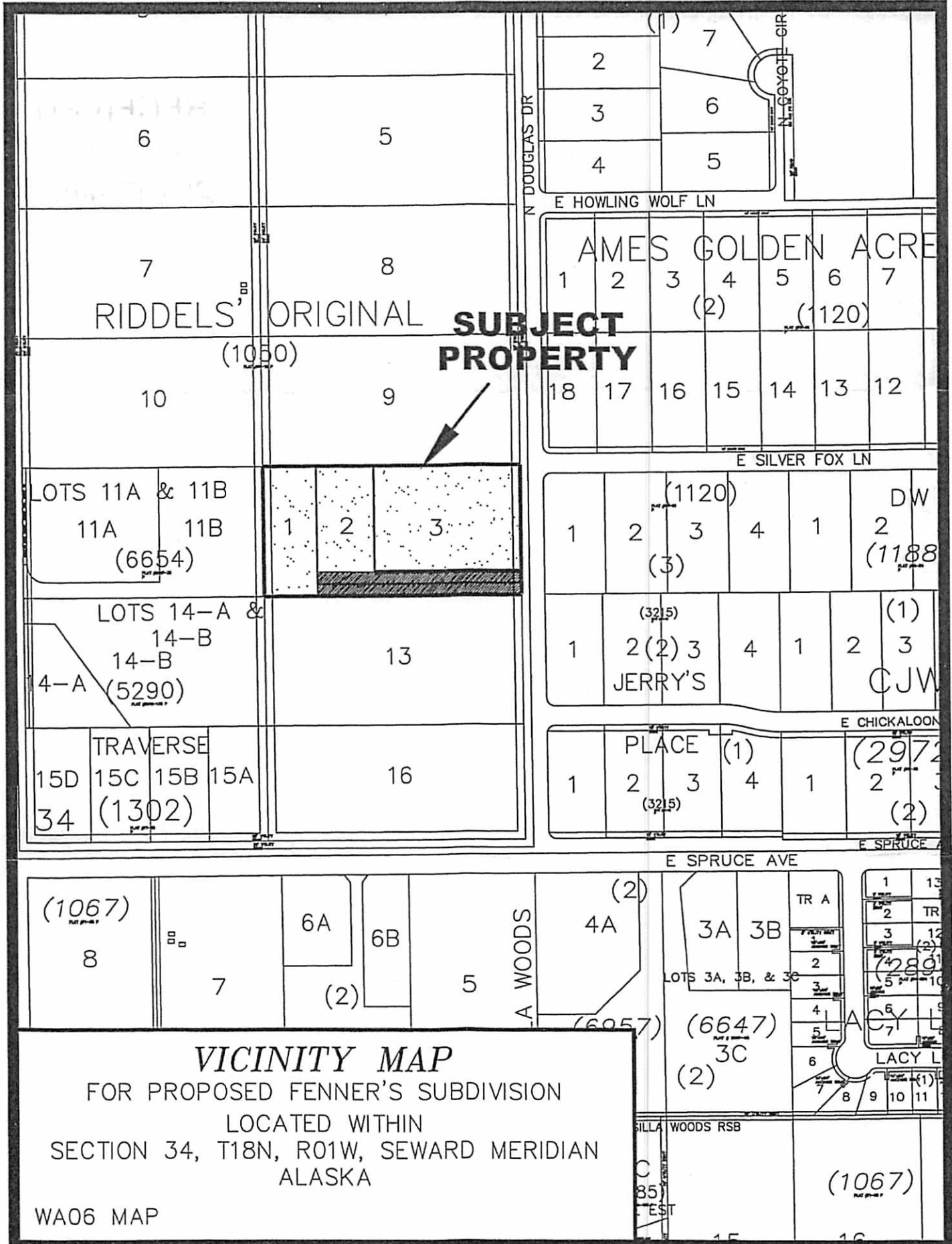
FINDINGS of FACT:

1. The abbreviated plat of FENNER'S is consistent with AS 29.40.070 *Platting Regulations*, and MSB 43.15.025 *Abbreviated Plats*.
2. A Soils Report was submitted pursuant to MSB 43.20.281(A)(1)(i)(i).
3. All lots will have the required frontage pursuant to MSB 43.20.320.
4. There were no objections from any borough departments, outside agencies, utilities, or the public.
5. At the time of staff report write-up, there were no responses to the Request for Comments from Community Council #9 Tanaina; Road Service Area #28 Gold Trail; MSB Emergency Services, Community Development, or Assessments; or MTA.

RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of the abbreviated plat of FENNER'S, contingent on the following recommendations:

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Pay postage and advertising fees.
4. Show all easements of record on final plat.
5. Submit recording fees, payable to Department of Natural Resources (DNR).
6. Submit final plat in full compliance with Title 43.



VICINITY MAP

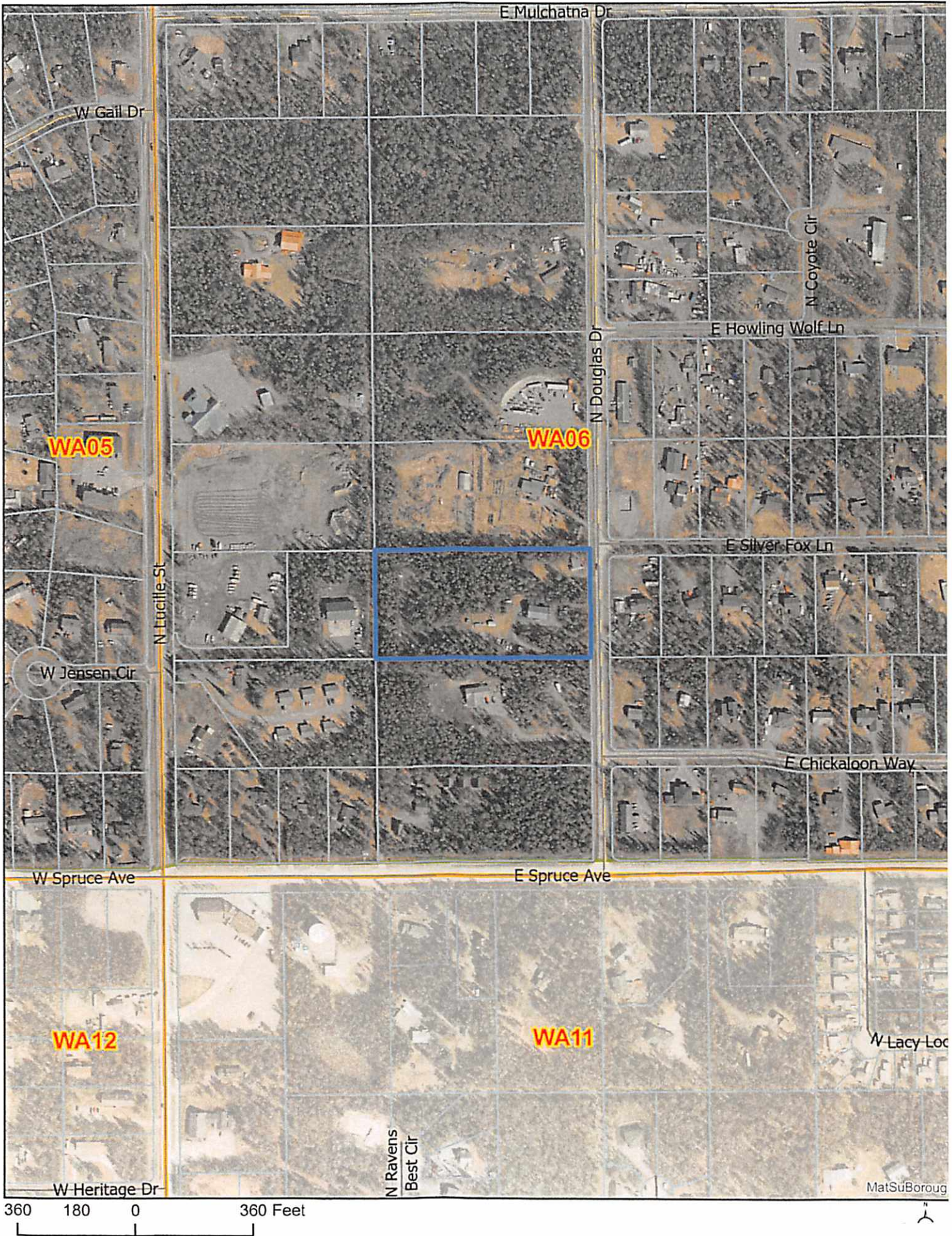
FOR PROPOSED FENNER'S SUBDIVISION
LOCATED WITHIN
SECTION 34, T18N, R01W, SEWARD MERIDIAN
ALASKA

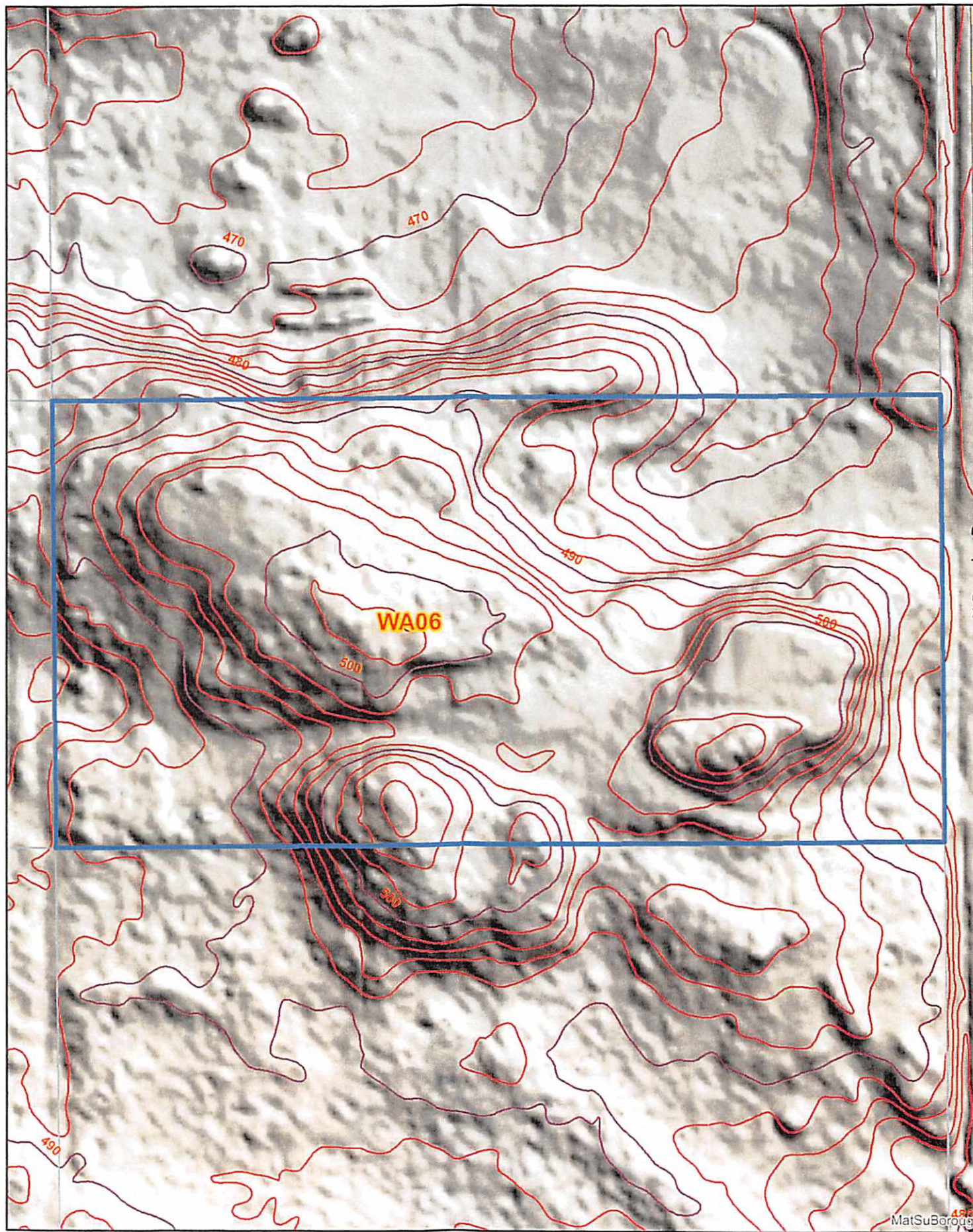
WA06 MAP



90 45 0 90 Feet

MatSuBeroug

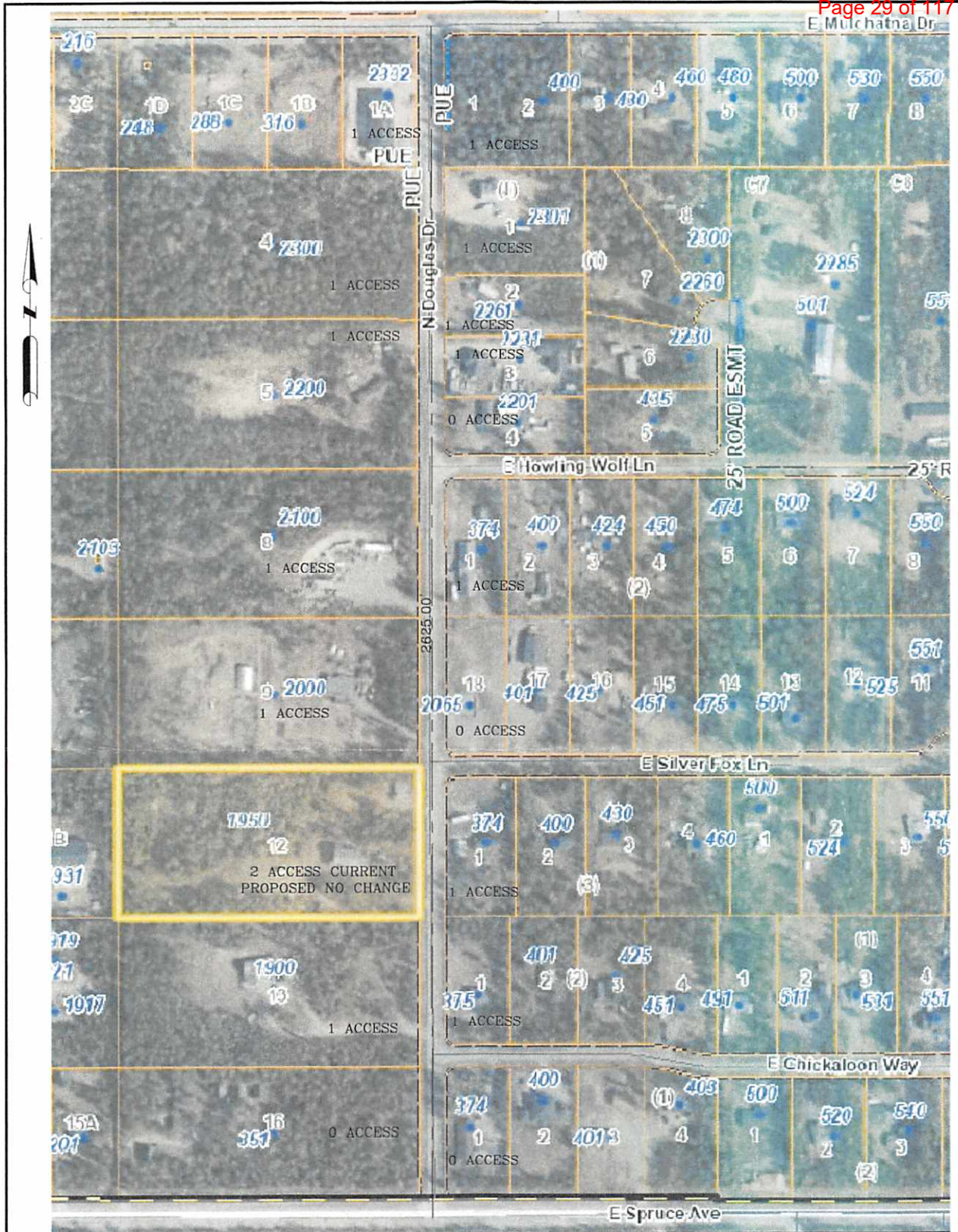




MatSuBorough

90 45 0 90 Feet

EXHIBIT A-4



CENTERLINE DISTANCE ALONG N. DOUGLAS DR IS APPROXIMATELY 2625'.
 2625' / 15 ACCESS POINTS = 175' AVERAGE SPACING.
 PROPOSED FENNER'S SUBDIVISION WILL USE COMMON ACCESS OVER
 CURRENT DRIVEWAY CREATING NO ADDITIONAL ACCESS POINTS.

ACCESS DISTANCE CALCULATIONS
LOT 12, RIDDELS' ORIGINAL SUBDIVISION

RECEIVED
 MAR 15 2024
PLATTING



NOTES: **PLATTING**
 1. THIS DRAWING IS FOR REPRESENTING AVERAGE ACCESS SPACING ONLY

BULL MOOSE SURVEYING LLC LICENSE #200746		PALMER RECORDING DISTRICT, ALASKA		DATE OF SKETCH: 3/13/2024		PREPARED FOR: JOHN FENNER	
200 HYGRADE LANE, WASILLA, ALASKA 99654 (907) 357-6957 office@bullmoosesurveying.com		DRAWN BY: TGC		SECTION TWP. RANGE 34 18N 1W S.M.		SCALE: 1"=200'	
		CHECKED BY: OTD				2022 MSB IMAGERY	



HOLLER ENGINEERING

Water, Wastewater & Soils Consulting

3375 N Sams Dr. Wasilla, Alaska 99654 • 376-0410

RECEIVED
MAR 20 2024
PLATTING

March 13, 2024

Fred Wagner
MSB Platting Officer
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: *L12A, 12B & 12C Riddels' Original Subdivision*; Useable Areas
HE #20117

Dear Mr. Wagner:

At the request of the owner, we have performed a soils review and related preliminary design work for the referenced proposed subdivision. The project will create 3 new lots from the existing Lot 12, totaling 5 acres. Our soils evaluation included one new testhole on the project, review of existing testholes on and adjacent to the project site, review of the available topography information, review of aerial imagery and our other observations at the site. See the attached testhole location and topography map for details.

Topography. The project site forms a rectangle with its eastern edge along N. Douglas Drive. The parcel has continuously varying terrain with two high areas located centrally and lower areas lying to the west and northeast. The total elevation differential indicated on the provided topographical map is approximately 28'. Steep areas within the project with slopes exceeding 25% have been delineated on the attached drawing.

Soils & Vegetation. The parent parcel contains minor cleared areas around and supporting two dwellings and several outbuildings as shown on the attached map. Another cleared area exists near the west end of the property. The remaining regions remain mostly undisturbed, with common tundra grasses, and moderately spaced spruce, birch, and cottonwood. Two testholes were logged on the project, and another testhole was located just to the south. Near surface soils logged in the testholes included a thin organic mat over silty topsoils extending down just beyond 4'. Receiving soils under the silts were silty sands with gravels extending down to at least 16'. Percolation tests were performed in all 3 testholes with results of 3, 18 and 37 minutes per inch. Copies of the testhole logs, percolation results, and the location/topography map are attached.

Groundwater. Groundwater was not encountered in any of the testholes, dug to depths of 16, 20 and 21 feet. Based on the location of the logged testholes and the conditions found, groundwater is not expected to be a limiting factor for the proposed lots.

Useable Areas. The proposed lots have a few limitations on areas defined by MSB code as *useable septic area* or *useable building area*. Useable septic areas will be limited by lotlines, setbacks to existing water wells, steep areas and related setbacks, and setbacks to existing structures. For useable building area, lotlines, utility easements, and ROW/PUE setbacks will be limiting factors. For each of the proposed lots, adequate unencumbered area exists to readily meet the code requirements. Based on the available soils and water table information, topography, MSB Title 43 Code definitions, and our observations at the site, *each of the proposed lots labeled 1, 2, and 3 will each contain over 10,000 square feet of contiguous useable septic area, and an additional 10,000 square feet of useable building area.*

Drainage Plan. As no new roads are proposed, a formal drainage plan is not required. However, general existing drainage patterns have been indicated on the attached drawing.

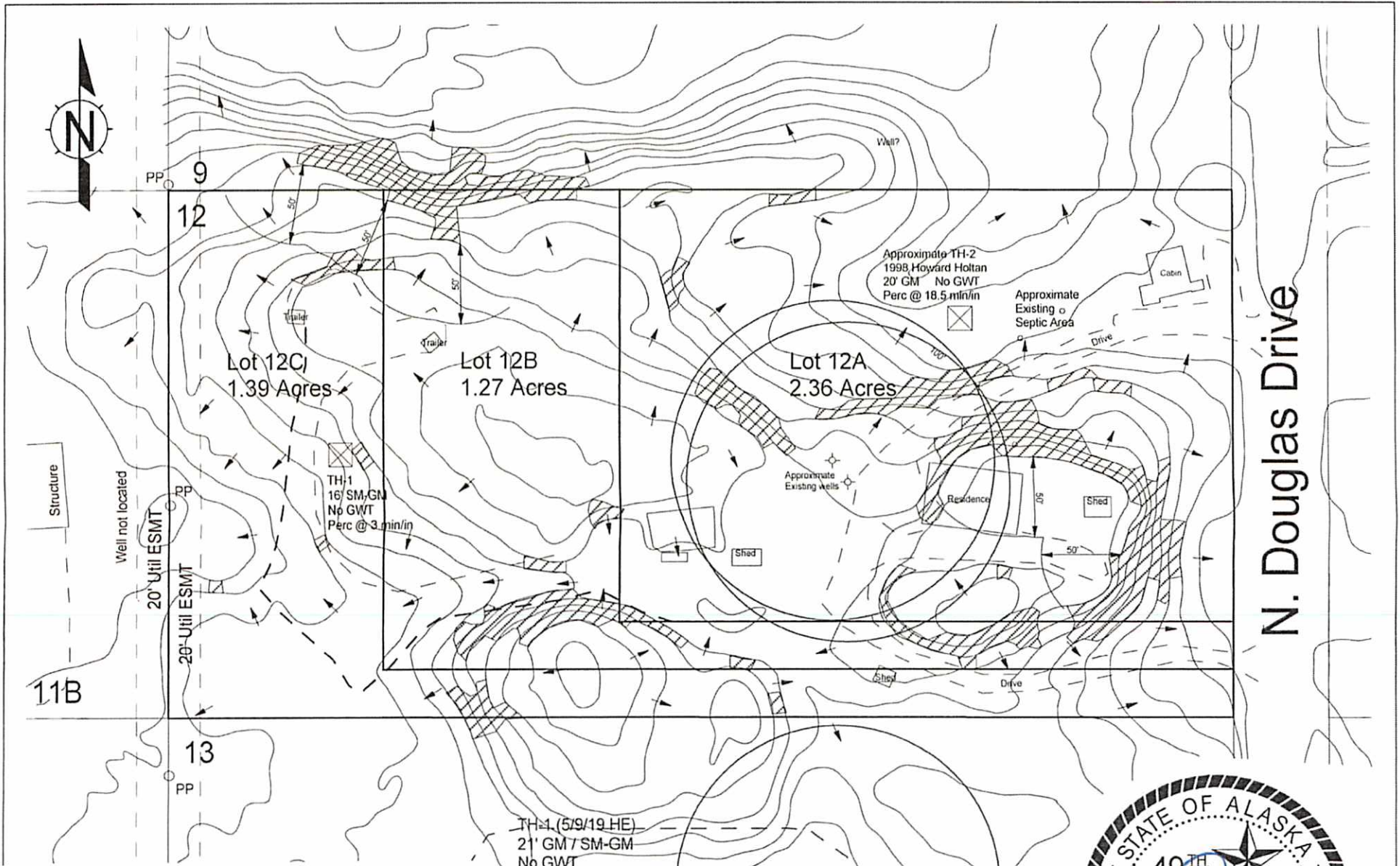
Please do not hesitate to call with any other questions you may have.

Sincerely,

Curtis Holler, PE

c: J. Fenner, w/attachments





N. Douglas Drive

L12 Riddels' Original Subdivision
 Useable Area, Drainage and Topography Map

HOLLER ENGINEERING
 3375 N Sams Dr. Wasilla, Alaska 99654

TH-1 (5/9/19 HE)
 21" GM / SM-GM
 No GWI
 Perc @ 37 min/in

Notes:

1. MSB base drawing & 2' LiDAR contours.
2. Arrows denote apparent drainage patterns.
3. Improvements approx., traced from asbuilt & aerial photos.



EXHIBIT C-3

Job # 20117	Scale: 1" = 80'	3/13/24
-------------	-----------------	---------



HOLLER ENGINEERING

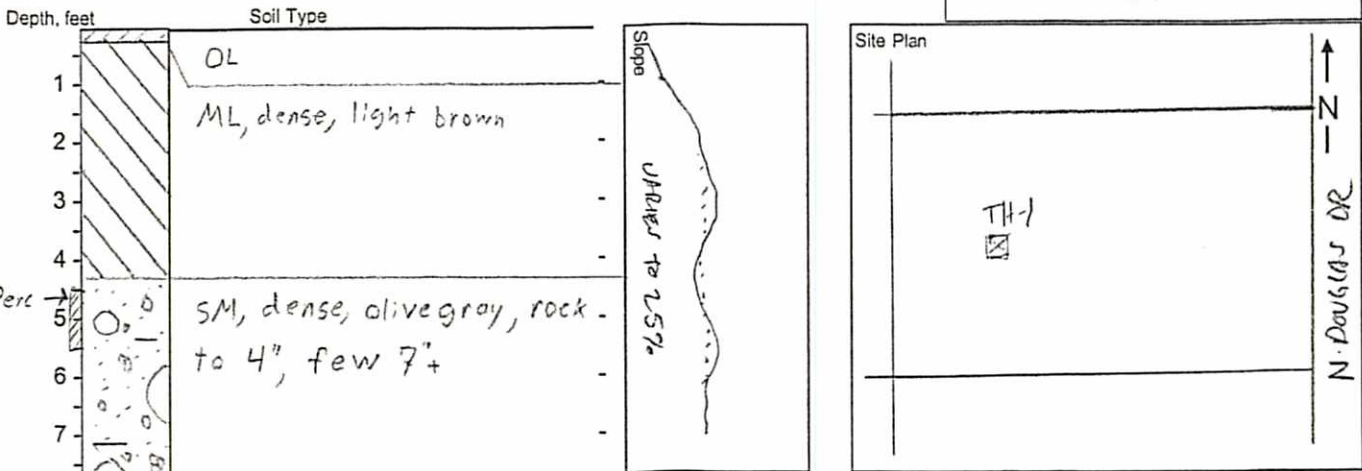
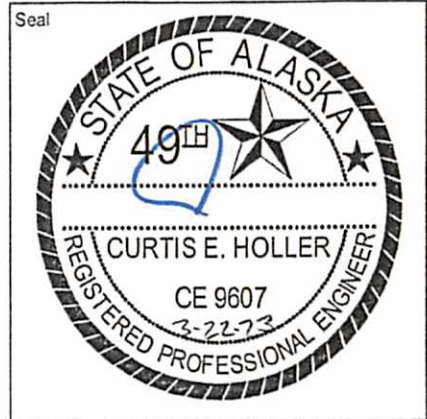
3375 N Sams Dr. Wasilla, Alaska 99654 376-0410

SOILS LOG / PERCOLATION TEST

TEST HOLE # 1 of 1

Performed For: John Fenner

Legal Description: Subdivision of L12 Riddels' Original



WAS GROUNDWATER ENCOUNTERED? No
 IF YES, AT WHAT DEPTH? N/A
 DEPTH AFTER MONITORING? N/A

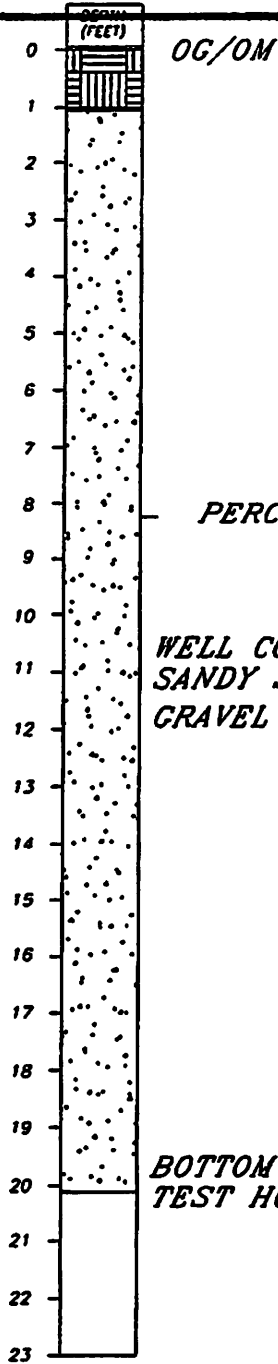
Slope
Other to 15%

PERCOLATION TEST					
Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop
	12/01/20				
1		9:28	10min	7 3/16"	4 4/16"
2		9:39	10min	7 2/16"	4 2/16"
3		9:51	10min	7 0/16"	4 0/16"
4		10:03	10min	6 14/16"	3 14/16"
5		10:14	10min	6 13/16"	3 13/16"
6		10:25	10min	6 12/16"	3 12/16"

No Groundwater
No Impermeables

- PERCOLATION RATE 3 (min/inch) PERC HOLE DIAMETER 6"
 - TEST RUN BETWEEN 4.5 FT AND 5.5 FT DEPTH
 - COMMENTS: Testhole for subdivision only, for any other use contact Holler Engineering
 - PERFORMED BY: J. Wilkins DATE: 11/30/20
12/01/20

PERCOLATION TEST DATA/ VISUAL SOILS REPORT



TEST HOLE # 1

DEPTH TO BOTTOM OF PERC. HOLE: 12 (INCHES)

DIAMETER OF PERC. HOLE: 6 (INCHES)

PERFORMED BY: JIM NICODEMUS DATE OF TEST: 8/27/98

GROSS TIME	NET TIME MINUTES	DEPTH TO WATER	MEAS. AFTER DROP	NET DROP	PERC. RATE MIN./IN.	COMMENTS
13:00		6"				START
13:30	30		5-5/8"	1-5/8"	18.5	
13:31		6"				RELOAD
14:01	30		5-5/8"	1-5/8"	18.5	END

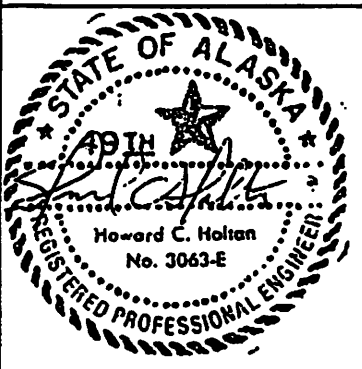
PERCOLATION RATE = 18.5 MINUTES PER INCH

COMMENTS: NO IMPERMEABLE LAYERS ENCOUNTERED
HOLE PRESOAKED 4 HOURS

GROUND WATER ENCOUNTERED?
NO
YES DEPTH? _____

SOILS RATING	
ADEC METHOD	<u>250</u> PER BR.

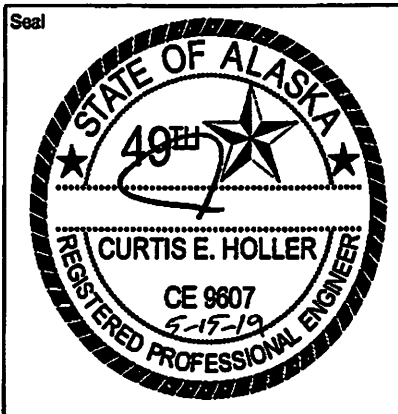
I, Howard C. Holtan, certify that this test was performed in accordance with all ADEC guidelines in effect on this date. DATE: 9/3/98



SUBDIVISION: <u>LOT 12</u> <u>RIDDEL SUB</u>	<u>HOWARD C. HOLTAN P.E.</u>
	JOB NUMBER: <u>H98-09-029</u>
	DATE OF TEST: <u>8/27/98</u>

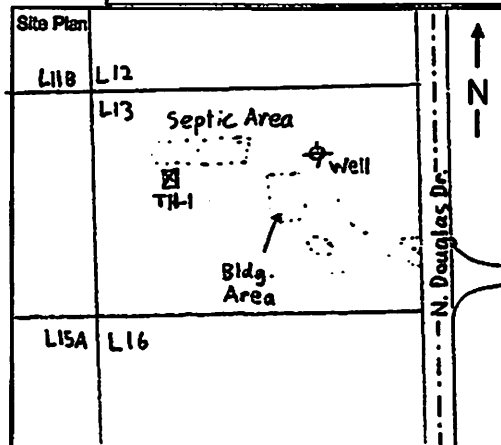
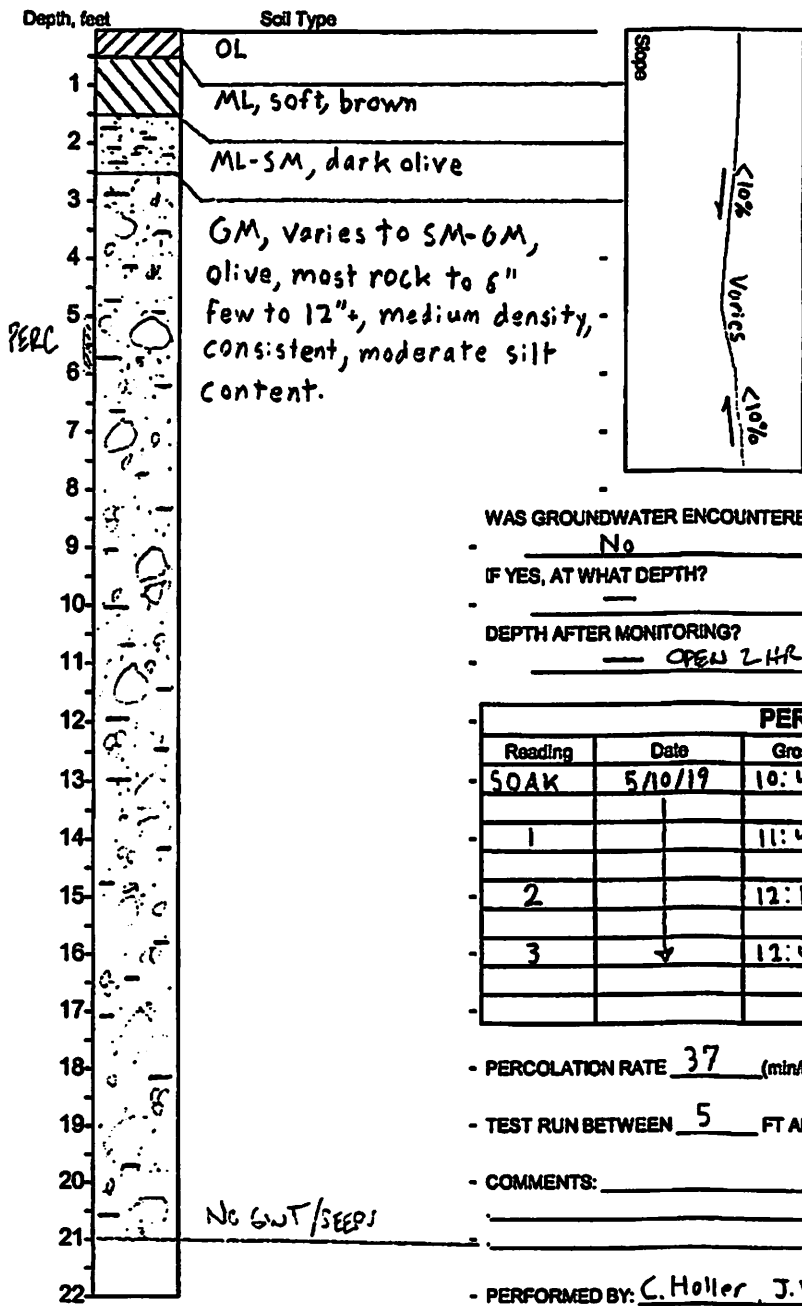
HOLLER ENGINEERING

3375 N Sams Dr. Wasilla, Alaska 99654 376-0410

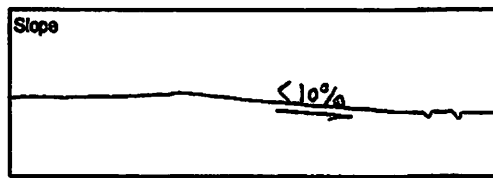


SOILS LOG / PERCOLATION TEST

TEST HOLE # 1 of 1
 Performed For: Balinder Excavating
 Legal Description: L13 Riddels' Original Subdivision



WAS GROUNDWATER ENCOUNTERED?
 - No
 IF YES, AT WHAT DEPTH?
 - _____
 DEPTH AFTER MONITORING?
 - OPEN 2 HRS



PERCOLATION TEST					
Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop
SOAK	5/10/19	10:40.59	—	—	—
1		11:46.38	30 min	4-14/16"	14/16"
2		12:18.10	30 min	4-14/16"	14/16"
3		12:49.49	30 min	4-13/16"	13/16"

- PERCOLATION RATE 37 (min/inch) PERC HOLE DIAMETER 6"
 - TEST RUN BETWEEN 5 FT AND 6 FT DEPTH
 - COMMENTS: _____

 - PERFORMED BY: C. Holler, J. Wilkins DATE: 5/9/19 & 5/10/19

Jesse Curlin

From: Campellone, Estrella F CIV USARMY CEPOA (USA)
<Estrella.F.Campellone@usace.army.mil>
Sent: Wednesday, April 3, 2024 9:56 AM
To: Jesse Curlin
Subject: RE: Regulator of the Day Response Requested: FW: RFC - Fenner's (CC)

Good morning Mr. Curlin,

The information you have provided is not sufficient for the Corps of Engineers (Corps) to determine the exact location of this project; therefore, we can't determine if the area where the project is located contain waters of the U.S., including wetlands. Please provide the coordinates of the parcel in question to be able to provide meaningful comments.

Please be notified that a Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S. A copy of the DA permit application can be found online at www.poa.usace.army.mil/Missions/Regulatory.

Sample drawings can also be found on our website at www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). The Corps defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

You are welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox (regpagemaster@usace.army.mil) and you will be assigned a project manager to assist you. Please feel free to contact our main line if you have any questions or concerns at 907-753-2712.

Respectfully,
Estrella Campellone
Project Manager
South Section

Jesse Curlin

From: Daniel Dahms
Sent: Tuesday, April 9, 2024 1:34 PM
To: Jesse Curlin
Cc: Brad Sworts; Jamie Taylor; Tammy Simmons
Subject: RE: RFC - Fenner's (CC)

Chris,

No comment.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Monday, April 1, 2024 12:35 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; tanainacommunity@gmail.com; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; mschoming@crweng.com; Dmitri Fonov <Fonov@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC - Fenner's (CC)

Hello,

The following link contains a Request for Comments for Fenner's, MSB Case #2024-046 to create three lots from 1050000L012. Comments are due by **April 10, 2024**. Please let me know if you have any questions.

 [Fenner's](#)

Sincerely,

Jesse C. "Chris" Curlin
Platting Technician
Matanuska-Susitna Borough
(907) 861-7873

Jesse Curlin

From: Permit Center
Sent: Tuesday, April 2, 2024 8:19 AM
To: Jesse Curlin
Subject: RE: RFC - Fenner's (CC)

Good morning,

The permit center has no comments for this property.

Very Respectfully,

Jamie R Jokhy
Administrative Assistant
Development Services
(907) 861-7842
jamie.jokhy@matsugov.us



From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Monday, April 1, 2024 12:35 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; tanainacommunity@gmail.com; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; mschoming@crweng.com; Dmitri Fonov <Fonov@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC - Fenner's (CC)

Hello,

The following link contains a Request for Comments for Fenner's, MSB Case #2024-046 to create three lots from 1050000L012. Comments are due by **April 10, 2024**.
Please let me know if you have any questions.



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

April 10, 2024

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary and abbreviated plats and has no comments or recommendations.

- **Meadow Creek Homestead**
(MSB Case# 2024-040)
- **Virgil Eckert 2024**
(MSB Case# 2024-041)
- **Northern Lights Elk Ranch**
(MSB Case# 2024-042)
- **Fenner's**
(MSB Case# 2024-046)

If you have any questions, please feel free to contact me at (907) 714-7521 or by email at skylar.furlong@enstarnaturalgas.com.

Sincerely,

A handwritten signature in blue ink that reads "Skylar Furlong".

Skylar Furlong
Environmental Permitting & Compliance Specialist
ENSTAR Natural Gas Company, LLC

Jesse Curlin

From: OSP Design Group <ospdesign@gci.com>
Sent: Tuesday, April 9, 2024 12:55 PM
To: Jesse Curlin
Cc: OSP Design Group
Subject: RE: RFC - Fenner's (CC)
Attachments: Agenda Plat.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Jesse,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

GCI | OSP Design

e: OSPDesign@gci.com | w: www.gci.com

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Monday, April 1, 2024 12:35 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; tanainacommunity@gmail.com; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; mschoming@crweng.com; Dmitri Fonov <Fonov@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC - Fenner's (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link contains a Request for Comments for Fenner's, MSB Case #2024-046 to create three lots from 1050000L012. Comments are due by **April 10, 2024**.

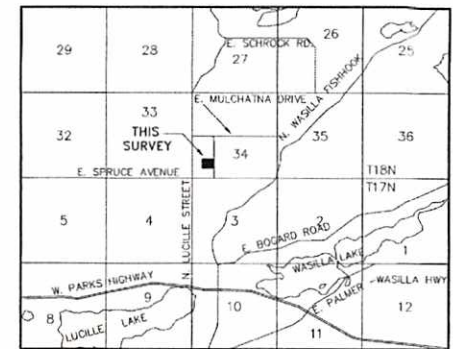
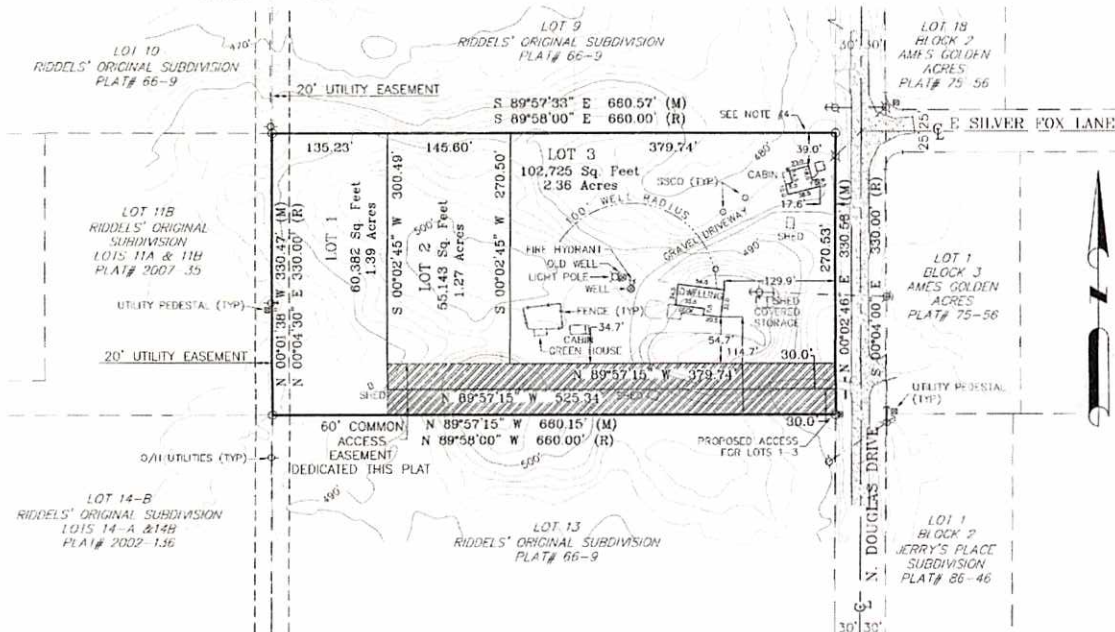
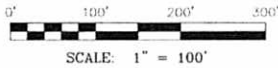
Please let me know if you have any questions.

 [Fenner's](#)

Sincerely,

LEGEND:

- FOUND 1/2" IRON PIPE
- FOUND 5/8" REBAR
- ⊙ FOUND 5/8" REBAR WITH PLASTIC CAP (LS 6091)
- (R) RECORD VALUE PER (PLAT #66-9)
- (R1) RECORD VALUE PER (PLAT #2007-35)
- (R2) RECORD VALUE PER (PLAT #2002-136)
- (M) MEASURED VALUE THIS SURVEY
- SET 5/8"x30" REBAR WITH PLASTIC CAP (BULL MOOSE LS 184515)
- ▨ SHARD DRIVEWAY AND T TURNAROUND EASEMENT DEDICATED THIS PLAT



PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA - SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY

PLAT RESOLUTION NO. _____

DATED _____ AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THIS PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR _____ DATE _____

ATTEST: _____ PLATTING CLERK

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS THROUGH _____, AGAINST THE PROPERTY INCLUDED IN THE SUBDIVISION OR RESUBDIVISION HEREON HAVE BEEN PAID.

DATE _____ BOROUGH TAX COLLECTION OFFICIAL _____

PRELIMINARY

CERTIFICATE OF OWNERSHIP & DEDICATION

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT AND DEDICATE ALL RIGHTS OF WAY TO THE MATANUSKA-SUSITNA BOROUGH AND GRANT ALL EASEMENTS TO THE USE SHOWN.

JOHN FENNER _____ DATE _____
1950 N. DOUGLAS DRIVE
WASILLA, ALASKA 99654-3823

NOTES

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS THE SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
3. BLANKET EASEMENT GRANTED TO: MATANUSKA ELECTRIC ASSOCIATION, INC. RECORDED OCTOBER 11, 1999 IN BOOK 1038, PAGE 974.
4. LEGAL NONCONFORMING STATUS DETERMINATION ORDER #10554, RECORDED NOVEMBER 22, 2023 IN RECEPTION NO.: 2023-021513-0
5. CONTOURS & ELEVATIONS FROM 2011 MSB LIDAR

NOTARY ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN BEFORE ME
HIS _____ DAY OF _____
OR _____
NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES _____



PRELIMINARY SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PRELIMINARY PLAT IS REPRESENTATIVE OF CURRENT CONDITIONS, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



OWEN THOMAS DICKS, P.L.S. _____ 3/13/2024
LS-184515 PROFESSIONAL LAND SURVEYOR _____ DATE

A PLAT OF FENNER'S SUBDIVISION

A REPLAT OF: **Agenda Copy**
LOT 12
RIDDELS' ORIGINAL SUBDIVISION
PLAT #66-12

LOCATED WITHIN:
SECTION 34, T18N R1W
SEWARD MERIDIAN, ALASKA
PALMER RECORDING DISTRICT
THIRD JUDICIAL DISTRICT
STATE OF ALASKA
CONTAINING 5.01 ACRES, MORE OR LESS

BULL MOOSE SURVEYING

LICENSE #200746
200 HYGRADE LANE OFFICE: (907) 357-6957
WASILLA, ALASKA 99654 office@bullmoosesurveying.com
DRAWN BY: TCC DRAWING SCALE:
DATE: 3/13/2024 1"=100'
CHECKED BY: OTD SHEET
1 OF 1

RECEIVED
MAR 15 2024
PLATTING

EXHIBIT G-3

Jesse Curlin

From: Cayla Ronken <cronken@mtasolutions.com>
Sent: Tuesday, April 2, 2024 9:42 AM
To: Jesse Curlin
Subject: RE: RFC - Fenner's (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Chris,

MTA has reviewed Fenner's and has no comments to add.

Thank you for reaching out,

Cayla Ronken, Right of Way Agent

1740 S. Chugach St., Palmer, Alaska 99645

Office: (907) 761-2465 | www.mtasolutions.com



From: Jesse Curlin <Jesse.Curlin@matsugov.us>

Sent: Monday, April 1, 2024 12:35 PM

To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; tanainacommunity@gmail.com; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; mschoming@crweng.com; Dmitri Fonov <Fonov@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>

Subject: RFC - Fenner's (CC)

Hello,

The following link contains a Request for Comments for Fenner's, MSB Case #2024-046 to create three lots from 1050000L012. Comments are due by **April 10, 2024**.

Please let me know if you have any questions.

MATANUSKA-SUSITNA BOROUGH
PLATTING DIVISION
350 EAST DAHLIA AVENUE
PALMER, ALASKA 99645

RECEIVED
APR 15 2024
PLATTING

1050000L004 2
DILLARD CHAS R
1532 F ST
ANCHORAGE, AK 99501-5030

NOTIFICATION OF PUBLIC HEARING

The Matanuska-Susitna Borough **Platting Officer** will consider the following:

PETITIONER: John Fenner

REQUEST: The request is to create three lots from Lot 12, Riddel's Original (Plat # 66-12), to be known as **FENNER'S**, containing 5.01 acres +/- . The property is located directly north of E. Spruce Avenue, east of N. Lucille Street, and directly west of N. Douglas Drive (Tax ID # 1050000L012); within the SW ¼ Section 34, Township 18 North, Range 01 West, Seward Meridian, Alaska. In the Tanaina Community Council and Assembly District # 6.

The Matanuska-Susitna Borough **Platting Officer** will hold a public hearing in the **Assembly Chambers** at the **Dorothy Swanda Jones Building**, 350 E. Dahlia Avenue, Palmer, Alaska on the proposed **Subdivision**. The public hearing is scheduled for **May 1, 2024**, starting at 8:30 a.m. We are sending you this notice as required by State Law and Borough Ordinances.

For comments regarding the proposed action, this form may be used for your convenience by filling in the information below and mail this notice to the MSB Platting Division, 350 E. Dahlia Avenue, Palmer, Alaska 99645 or e-mail: plattling@matsugov.us. Comments received from the public after the platting packet has been written will be given to the Platting Officer in a "Hand-Out" the day of the meeting. **All public comments are due one (1) day prior, by 12:00 p.m.** To request additional information please contact the Platting Technician, **Chris Curlin** at (907) 861-7873. To view the agenda or meeting packet please go to the following link: www.matsugov.us/boards/plattling.

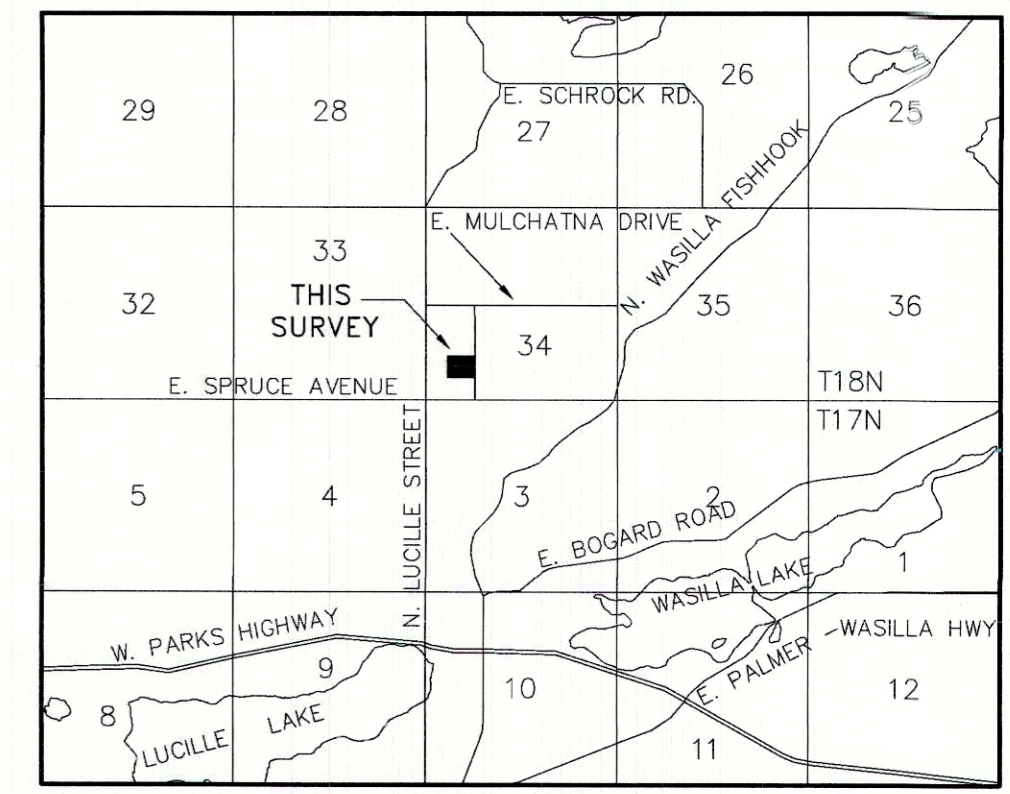
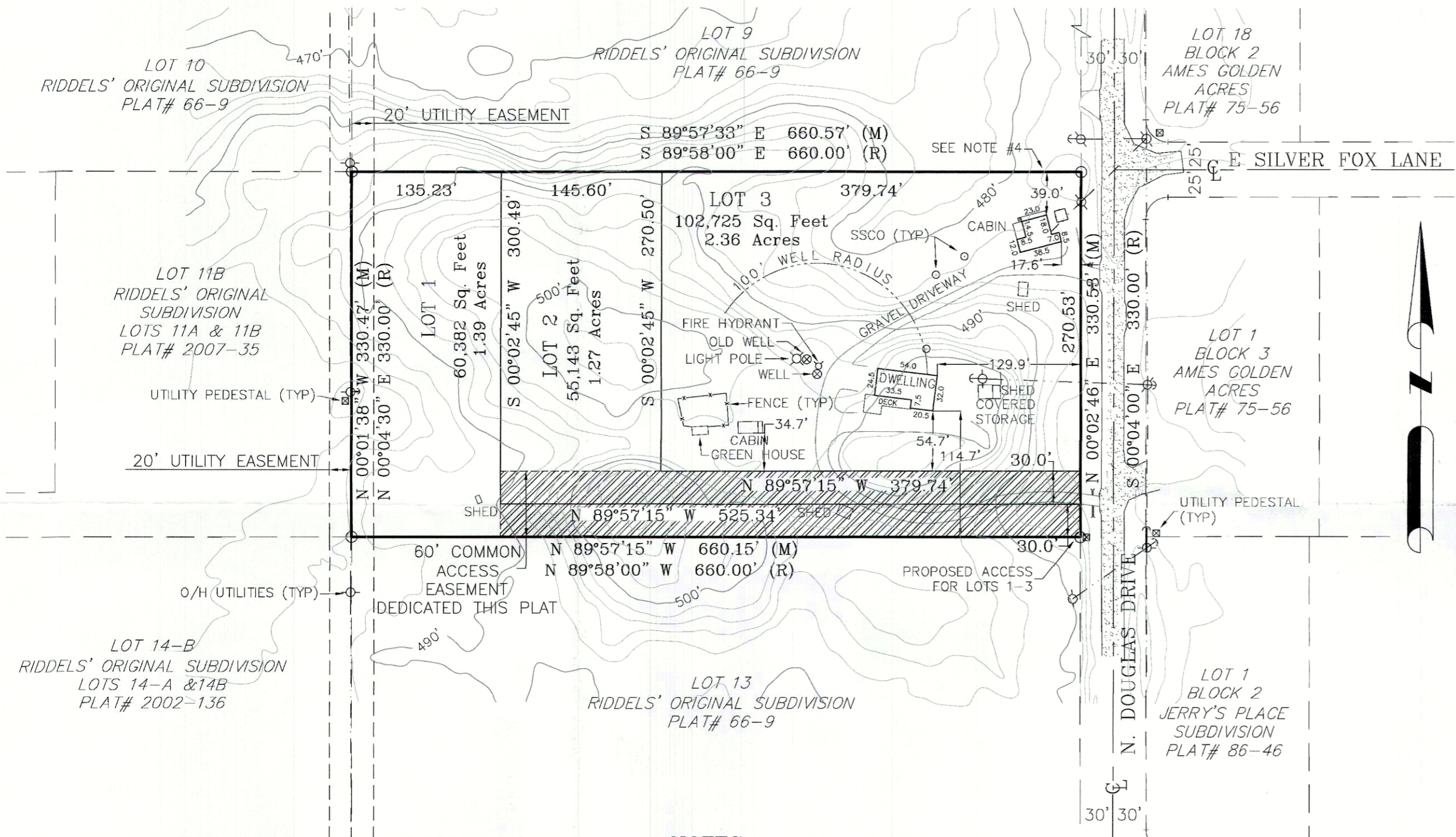
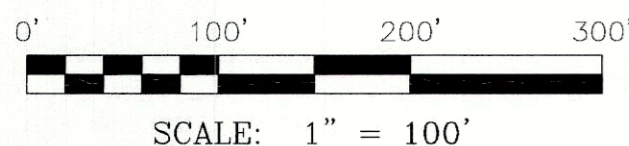
No Objection [] Objection [] Concern

Name: CHARLES R. DILLARD Address: 1532 "F" ST, ANCHORAGE, AK, 99501

Comments: _____

LEGEND:

- FOUND 1/2" IRON PIPE
- FOUND 5/8" REBAR
- FOUND 5/8" REBAR WITH PLASTIC CAP (LS 6091)
- (R) RECORD VALUE PER (PLAT #66-9)
- (R1) RECORD VALUE PER (PLAT #2007-35)
- (R2) RECORD VALUE PER (PLAT #2002-136)
- (M) MEASURED VALUE THIS SURVEY
- SET 5/8"x30" REBAR WITH PLASTIC CAP (BULL MOOSE LS 184515)
- ▨ SHARD DRIVEWAY AND T TURNAROUND EASEMENT DEDICATED THIS PLAT



PLANNING & LAND USE DIRECTOR'S CERTIFICATE

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PLAT RESOLUTION NO. _____

DATED _____ AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THIS PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR _____ DATE _____

ATTEST: _____ PLATTING CLERK

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS THROUGH _____, AGAINST THE PROPERTY INCLUDED IN THE SUBDIVISION OR RESUBDIVISION HEREON HAVE BEEN PAID.

DATE _____ BOROUGH TAX COLLECTION OFFICIAL _____

CERTIFICATE OF OWNERSHIP & DEDICATION

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT AND DEDICATE ALL RIGHTS OF WAY TO THE MATANUSKA-SUSITNA BOROUGH AND GRANT ALL EASEMENTS TO THE USE SHOWN.

JOHN FENNER _____ DATE _____
1950 N. DOUGLAS DRIVE
WASILLA, ALASKA 99654-3823

NOTES

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
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3. BLANKET EASEMENT GRANTED TO: MATANUSKA ELECTRIC ASSOCIATION, INC. RECORDED OCTOBER 11, 1999 IN BOOK 1038, PAGE 974.
4. LEGAL NONCONFORMING STATUS DETERMINATION ORDER #10554, RECORDED NOVEMBER 22, 2023 IN RECEPTION NO.: 2023-021513-0
5. CONTOURS & ELEVATIONS FROM 2011 MSB LIDAR

NOTARY ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN BEFORE ME

THIS _____ DAY OF _____
FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES _____

PRELIMINARY

PRELIMINARY SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PRELIMINARY PLAT IS REPRESENTATIVE OF CURRENT CONDITIONS, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



OWEN THOMAS DICKS, P.L.S. _____ DATE 3/13/2024
LS-184515 PROFESSIONAL LAND SURVEYOR

A PLAT OF
FENNER'S SUBDIVISION

A REPLAT OF: **Agenda Copy**
LOT 12
RIDDELS' ORIGINAL SUBDIVISION
PLAT #66-12

RECEIVED
MAR 15 2024
PLATTING

LOCATED WITHIN:
SECTION 34, T18N R1W
SEWARD MERIDIAN, ALASKA

PALMER RECORDING DISTRICT
THIRD JUDICIAL DISTRICT
STATE OF ALASKA

CONTAINING 5.01 ACRES, MORE OR LESS

BULL MOOSE SURVEYING

LICENSE #200746
200 HYGRADE LANE OFFICE: (907) 357-6957
WASILLA, ALASKA 99654 office@bullmoosesurveying.com

DRAWN BY: TGC	DRAWING SCALE: 1"=100'
DATE: 3/13/2024	SHEET 1 OF 1
CHECKED BY: OTD	

C

**STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
MAY 1, 2024**

PRELIMINARY PLAT: **EPHESIANS 2:8 ESTATES**

LEGAL DESCRIPTION: **SEC 06, T17N, R03E S.M., AK**

PETITIONER: **MORGAN & PAUL DUCLOS**

SURVEYOR: **LAVENDER SURVEY & MAPPING**

ACRES: 1.962 +/- PARCELS: **1**

REVIEWED BY: **AMY OTTO-BUCHANAN**

CASE: 2024-049

REQUEST: The request is to create one lot from Lots 5 & 6, Himalayan Ridge, Plat No. 2020-116, to be known as **EPHESIANS 2:8 ESTATES**, containing 1.962 acres +/- . The parcel is located east and north of E. Maud Road and directly east of N. Yeti Street; within Section 06, Township 17 North, Range 03 East, Seward Meridian, Alaska.

EXHIBITS:

Vicinity Map

Exhibit A

Development Services

Exhibit B

Public

Exhibit C

DISCUSSION: The proposed subdivision is heard under MSB 43.15.025, *Abbreviated Plats* and MSB 43.15.054(G), *Exemptions*. Elimination of common lot lines are exempt from survey and monumentation requirements and allows the surveyor to use record information from the prior plat. Staff notes that surveyor has used record information from Himalayan Ridge, Plat No. 2020-116.

COMMENTS:

Development Services (**Exhibit B**) notes a driveway permit will be needed for this property.

Public: (**Exhibit D**) Ann & Scott Floyd, owner of Lot 7, Himalayan Ridge, directly to the north, have no objections.

CONCLUSION: The plat of **Ephesians 2:8 Estates** is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats* and MSB 43.15.054(G) *Exemptions*. Plats to remove lot lines are exempt from provisions of the code, which require soils report submittals, legal and physical access, as-built survey, and topographic information. There were no objections received from outside agencies at the time of this staff report; one non-objection was received. There were no objections received in response to the Notice of Public Hearing.

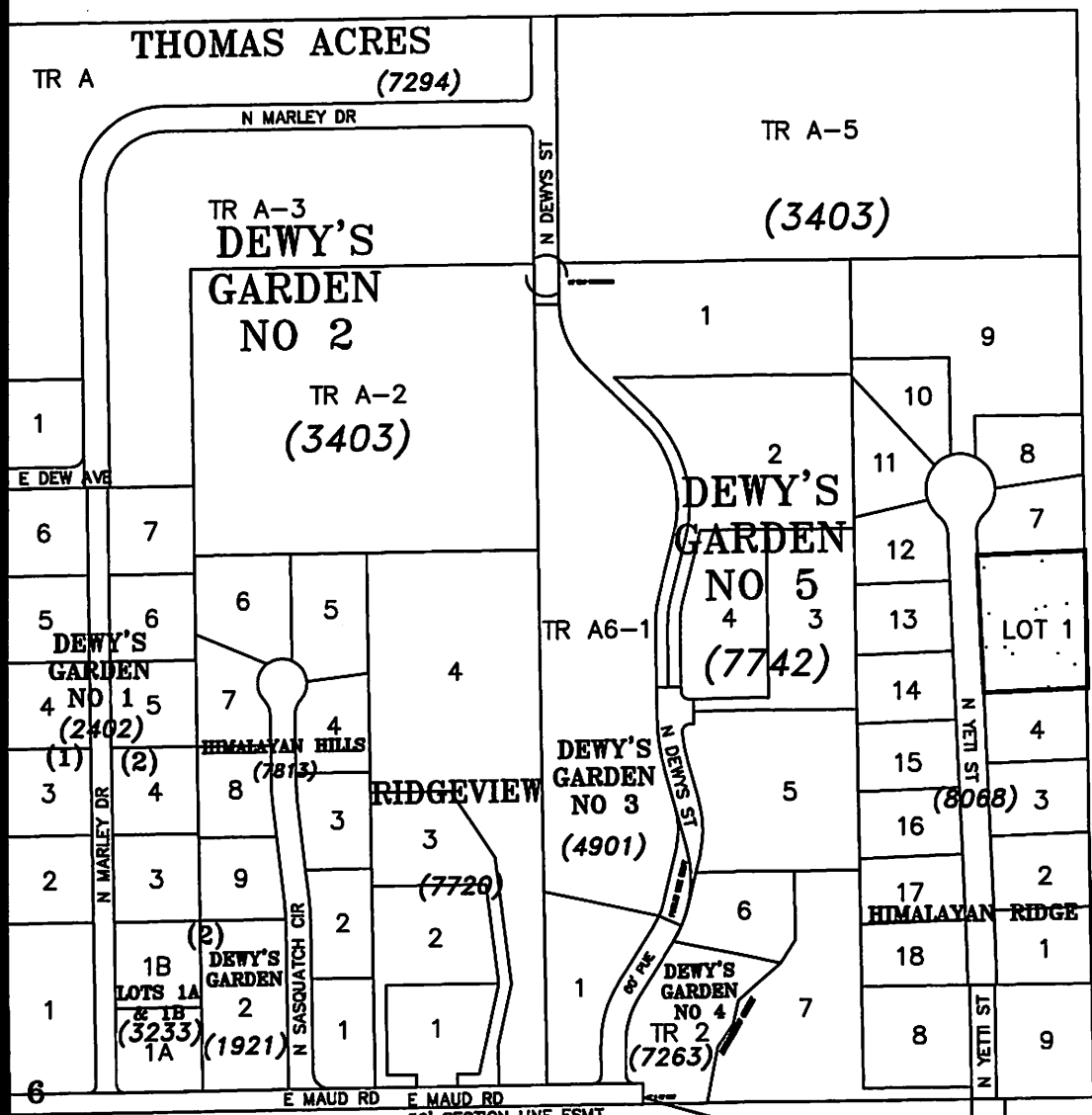
FINDINGS of FACT:

1. The abbreviated plat of **EPHESIANS 2:8 ESTATE** is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats*, and MSB 43.15.054(G) *Exemptions*.
2. This plat combines two lots within Himalayan Ridge, lessening the lot density in the area.
3. There were no objections from outside agencies.
4. There were no objections received in response to the Notice of Public Hearing from the public; one non-objection was received.
5. An elimination of common lot line plat is exempt from provisions of the code, which require soils report submittals, legal and physical access requirements, as-built survey or topographic information.
6. MSB 43.15.054(G) allows the surveyor to use record information from the recorded plat of Himalayan Ridge (Plat No. 2020-116) and does not require additional monumentation.

RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of the abbreviated plat of **EPHESIANS 2:8 ESTATE**, contingent on the following recommendations:

1. Pay postage and advertising fee.
2. Provide updated Certificate to Plat executed within seven (7) days prior to recording and provide beneficiary affidavits from holders of beneficial interest, if any.
3. Taxes and special assessments must be paid in full prior to recording the plat, per MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs) by certified funds or cash.
4. Submit recording fee payable to DNR.
5. Submit final plat in full compliance with Title 43.



**SUBJECT
PROPERTY**

VICINITY MAP

FOR PROPOSED EPHESIANS 2:8 ESTATES
LOCATED WITHIN
SECTION 06, T17N, R03E, SEWARD MERIDIAN,
ALASKA

PALMER 10 MAP

EXHIBIT A

Amy Otto-Buchanan

From: Permit Center
Sent: Wednesday, April 3, 2024 8:21 AM
To: Amy Otto-Buchanan
Subject: RE: RFC Ephesians 2:8 Est

Good morning,

A driveway permit will be needed for this property. That is all the comments from Permit Center.

Very Respectfully,

Jamie R Jokhy
Administrative Assistant
Development Services
(907) 861-7842
jamie.jokhy@matsugov.us



From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Tuesday, April 2, 2024 9:31 AM
To: sarah.myers@alaska.gov; Percy, Colton T (DFG) <colton.percy@alaska.gov>; regpagemaster@usace.army.mil; Permit Center <Permit.Center@matsugov.us>; pamela.j.melchert@usps.gov; Matthews, Jordan T - Anchorage, AK <Jordan.T.Matthews@usps.gov>; matthew.a.carey@usps.gov
Subject: RFC Ephesians 2:8 Est

The following link contains a Request for Comments to eliminate common lot line between 58068000L005 & L006. Comments are due by **April 19, 2024**. Please let me know if you have any questions. Thanks, A.

[Ephesians 28 Est](#)

Amy Otto-Buchanan
Platting Specialist
amy.otto-buchanan@matsugov.us
907-861-7872

Amy Otto-Buchanan

From: Ann E. Floyd <sa4efloyds@yahoo.com>
Sent: Monday, April 15, 2024 4:35 PM
To: MSB Platting
Subject: One lot from Lots 5 & 6 Himalayan Ridge, Plat No. 2020-116

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To whom it may concern,

I have no objection to the forming of one lot from lot 5 & 6, Himalayan Ridge, Plat No. 2020-116.

I live at 949 N. Yeti Street, Palmer, Alaska 99645

Thank you,

Ann and Scott Floyd

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT.

MORGAN DUCLOS
6000 STAEDEM DR
ANCHORAGE, AK 99504
DATE _____

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 2024
FOR MARY WEBB.

NOTARY FOR THE STATE OF ALASKA

MY COMMISSION EXPIRES _____

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT.

PAUL DUCLOS
6000 STAEDEM DR
ANCHORAGE, AK 99504
DATE _____

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 2024
FOR MARY WEBB.

NOTARY FOR THE STATE OF ALASKA

MY COMMISSION EXPIRES _____

BENEFICIARY

NAME _____ TITLE _____

AUTHORIZED OFFICIAL SIGNATURE
GLOBAL FEDERAL CREDIT UNION
P.O. BOX 196613
ANCHORAGE, AK 99519
DATE _____

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 2024.

FOR: _____

MY COMMISSION EXPIRES _____ NOTARY FOR THE STATE OF ALASKA

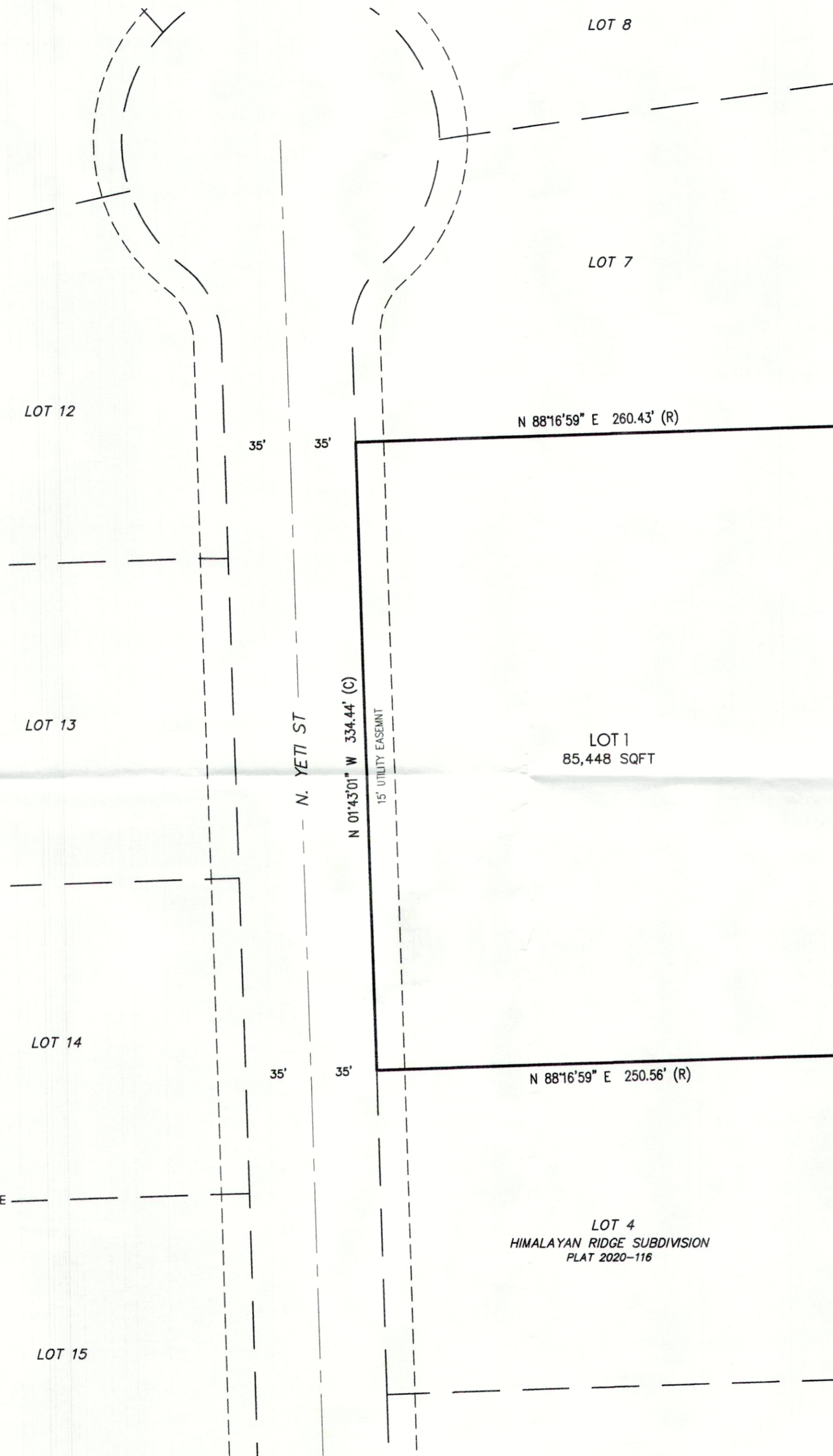
NOTES

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN HEREON.
2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS THE SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS, AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERNS THOSE SYSTEMS.
3. DIMENSIONS ARE RECORD PER PLAT OF HIMALAYAN RIDGE SUBDIVISION, PLAT 2020-116 UNLESS NOTED OTHERWISE.
4. THIS SUBDIVISION IS SUBJECT TO THE FOLLOWING BLANKET EASEMENTS GRANTED TO THE MATANUSKA ELECTRIC ASSOCIATION:
 - BOOK 247, PAGE 356, RECORDED OCTOBER 27, 1981
 - BOOK 250, PAGE 124, RECORDED NOVEMBER 30, 1981
 - BOOK 710, PAGE 806, RECORDED APRIL 2, 1993
 - BOOK 972, PAGE 711, RECORDED SEPTEMBER 15, 1989
 - INSTRUMENT NO. 2004-027048-0, RECORDED SEPTEMBER 24, 2004
 - INSTRUMENT NO. 2009-020918-0, RECORDED SEPTEMBER 17, 2009
5. A BLANKET EASEMENT EXISTS IN FAVOR OF ENSTAR NATURAL GAS COMPANY AT INSTRUMENT NO. 2014-001456-0, RECORDED JANUARY 28, 2014.



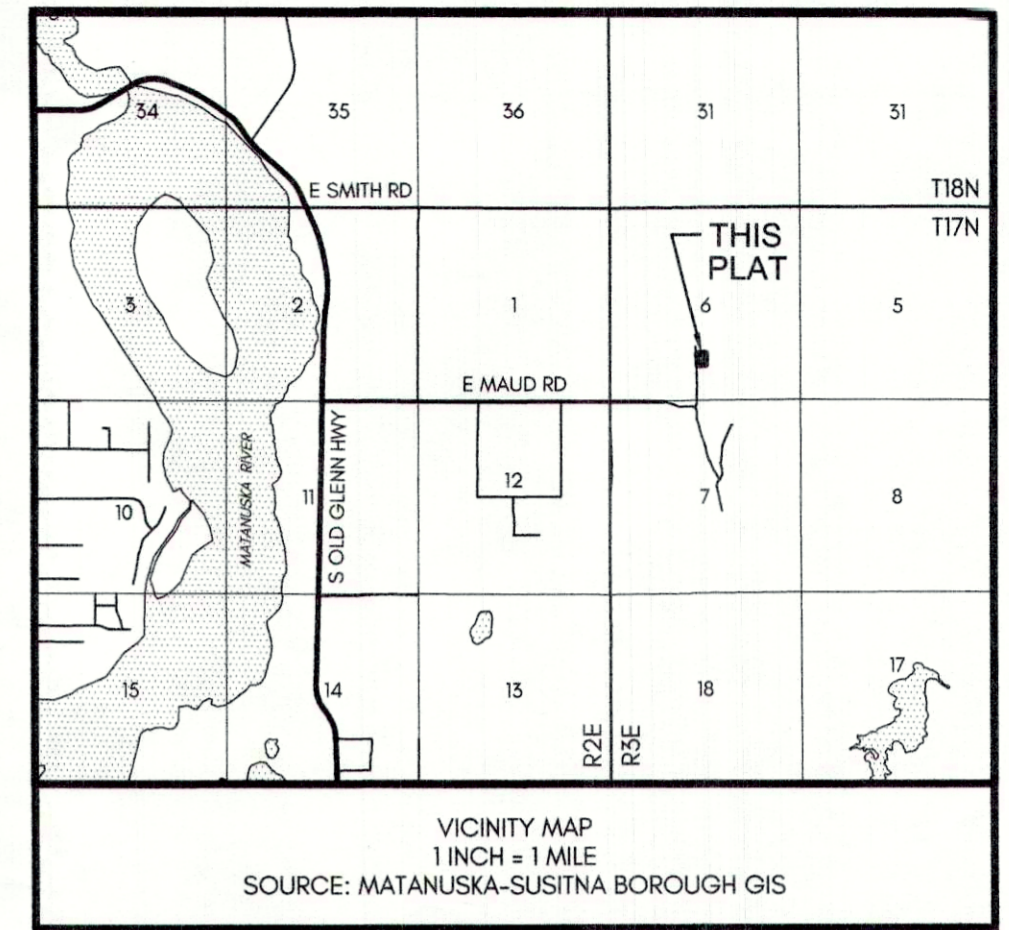
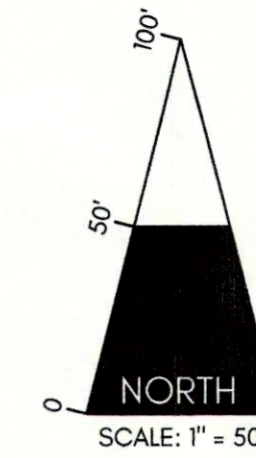
SURVEYOR'S CERTIFICATE

I, DAYNA M. RUMFELT LS 13322, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION USING RECORD DIMENSIONS FROM PLAT NO. 2020-116.



LEGEND

- N 88°16'59" E 250.56' (R) RECORD PER PLAT 2020-116
- S 00°01'37" E 334.59' (C) COMPUTED PER PLAT 2020-116



CERTIFICATION OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____ 2024, AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.

DATE _____ MATANUSKA-SUSITNA BOROUGH TAX COLLECTION OFFICIAL

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION NO. _____ DATE _____, 2024, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE ANCHORAGE RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

DATE _____ PLANNING & LAND USE DIRECTOR

ATTEST: _____
PLATTING CLERK

UNSUBDIVDED

Agenda Copy

RECEIVED
APR 01 2024
PLATTING

PLAT OF
EPHESIANS 2:8 ESTATE
A REPLAT OF LOTS 5 & 6, HIMALAYAN RIDGE SUBDIVISION,
PLAT NO. 2020-116, PALMER RECORDING DISTRICT
LOCATED WITHIN
SE 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 3 EAST,
SEWARD MERIDIAN, THIRD JUDICIAL DISTRICT, STATE OF ALASKA
CONTAINING 1.962 ACRES, MORE OR LESS.

LAVENDER
SURVEY & MAPPING
720 N. YETI CR., PALMER, AK 99645
(907)-301-5177-DAYNALAVENDERSURVEY.COM

DRAWN BY: SKT	SCALE: 1" = 50'	DWG: 24-029
CHECKED BY: DMR	DATE: 3/13/2024	SHEET 1 OF 1

D

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
MAY 1, 2024

ABBREVIATED PLAT: DEONE LOTS 2A & 2B
LEGAL DESCRIPTION: SEC 015, T17N, R01W S.M., AK
PETITIONERS: SOUTHCENTRAL FOUNDATION
SURVEYOR/ENGINEER: R&M/R&M
ACRES: 9.13 +/- PARCELS: 2
REVIEWED BY: CHRIS CURLIN CASE #: 2024-52

REQUEST:

The request is to create two lots from Lot 2, DEONE, (Plat# 2003-57) to be known as **DEONE Lots 2A & 2B**, containing 9.13 acres +/- . The property is located directly east of S. Knik Goose Bay Road and directly south of E. Palmer Wasilla Highway; within the N ¼ Section 15, Township 17 North, Range 01 West, Seward Meridian, Alaska.

EXHIBITS:

Vicinity Map and Aerial Photos
Soils Report

Exhibit A – 4 pgs
Exhibit B – 26 pgs

COMMENTS:

ADOT&PF
MSB Pre-design and Engineering
MSB Permit Center
City of Wasilla
Utilities

Exhibit C – 1 pg
Exhibit D – 1 pg
Exhibit E – 1 pg
Exhibit F – 1 pg
Exhibit G – 5 pgs

DISCUSSION: The proposed subdivision is creating two lots. Lot 2A will be 2.27 acres and Lot 2B will be 6.90 acres. Both lots will take access through a shared access onto S. Knik-Goose Bay Road, an ADOT&PF owned and maintained road.

Soils Report: A geotechnical report was submitted (**Exhibit B**), pursuant to MSB 43.20.281(A). R&M Consultants, Inc. notes that test borings were excavated for each of the proposed lots. Test boring locations were selected as a representative of the conditions to be expected throughout the proposed subdivision. The test holes were bored to a depth of 25.7', 26.5', and 25.9'. Groundwater was encountered at 12.6', 17.3', and 13'. The soil descriptions and sieve test results are attached. General conclusions, based on the results of this investigation, regarding suitability for onsite water and wastewater system installations and site development for both proposed subdivision lots are provided

below. **Lot 2A.** The investigation results indicate favorable conditions for the installation of water wells, onsite wastewater disposal (i.e., septic) systems, and site development. The proposed lot contains greater than 10,000 square feet of usable building area and greater than 10,000 square feet of contiguous septic area in accordance with Matanuska-Susitna Borough Code 43.20.281(A). **Lot 2B.** The investigation results indicate favorable conditions for the installation of water wells, onsite wastewater disposal (i.e., septic) systems, and site development. The proposed lot contains greater than 10,000 square feet of usable building area and greater than 10,000 square feet of contiguous septic area in accordance with Matanuska-Susitna Borough Code 43.20.281(A).

COMMENTS:

ADOT&PF (Exhibit) No objection to proposed lot division. DOT&PF requires dedicated shared common access for Lot 2A through Lot 2B to Knik Goose-Bay Road be shown on plat. No direct access for Lot 2A to the Palmer-Wasilla Highway will be authorized. Please add as plat note: “No direct access for Lot 2A to Palmer-Wasilla Highway.” **(Recommendation # 7)** Subsequent development of Lot 2A and Lot 2B requires continued use of shared common access. No further access to Knik-Goose Bay Road will be authorized. No median break on Knik-Goose Bay Road will be allowed for this driveway. This access will be right in and right out only. Plat actions invalidate existing driveway permits and require permits to be reapplied for. Apply for a new driveway permit for access onto Knik-Goose Bay Road. Driveway permits can be applied for at DOT&PF’s online ePermits website:

<https://dot.alaska.gov/row/Login.po>. Please contact DOT&PF’s ROW division at 1-800-770-5263 to speak with a regional permit officer if you have any questions. Any future driveway relocation will go through the permitting process which may require relocating driveway on Knik-Goose Bay Road further away from the Knik-Goose Bay Road and Palmer-Wasilla Highway intersection due to safety considerations and the functional area of the intersection. No new utility access through Knik-Goose Bay Road or right of way, or the Palmer-Wasilla Highway or right of way will be authorized. Utilities and subsequent utility development required through existing driveway access. Please be advised that this property is in the project area of the Knik-Goose Bay Road: Centaur Ave to Vine Rd Phase I project, which is currently in its construction phase. Further information about this project can be found at <https://www.knikgoosebay.com/>

DPW Pre-design and Engineering (**Exhibit C**) notes Change the legal description on the plat to include, “excepting there from WD 2021-036930-0”.

MSB Permit Center (**Exhibit D**) has no objection.

City of Wasilla (Exhibit) Access issue with the State will be very interesting at a corner of a major collector on the new corner lot.

Utilities: (**Exhibit E**) ENSTAR does not object if one of the following scenarios is met:

1. Add a ten foot (10 FT) wide natural gas easement, centered on the existing natural gas service line on proposed Lot 2A.
2. Owner signs an ENSTAR Natural Gas Easement document for a ten foot (10 FT) wide natural gas easement, centered on the service line at this location.

Platting staff notes that the petitioner will need to sign an easement with ENSTAR and show the recorded easement information on the final plat. (see recommendation #6)

GCI has no comments. MEA and MTA did not respond.

There were no objections received from Borough departments, outside agencies or the public at the time of this staff report.

CONCLUSION

The plat of Deone Lots 2A & 2B is consistent with AS 29.40.070 *Platting Regulations* and MSB 43.15.025 *Abbreviated Plats*. A soils report was submitted, legal and physical access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

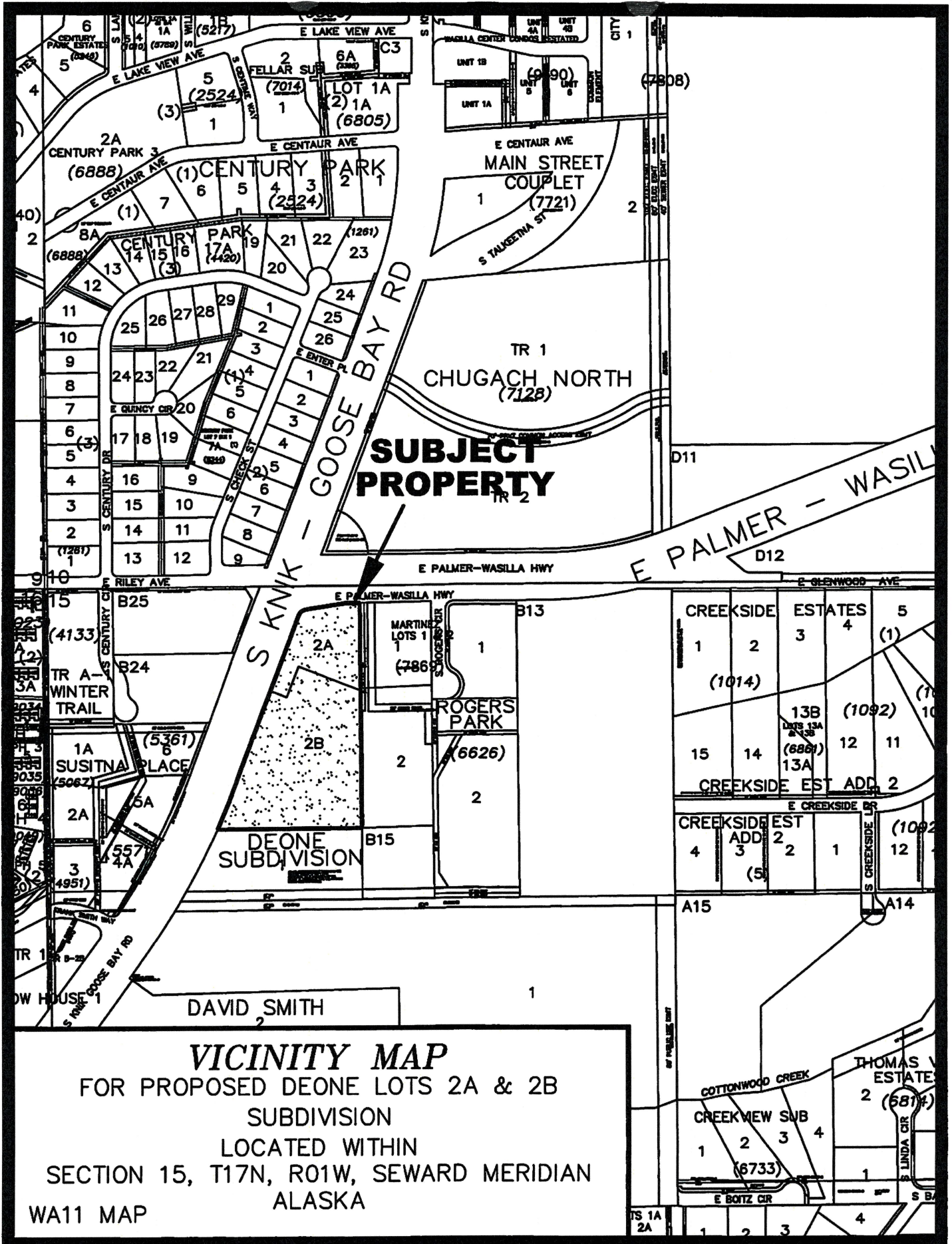
FINDINGS of FACT:

1. The abbreviated plat of Deone Lots 2A & 2B is consistent with AS 29.40.070 *Platting Regulations*, and MSB 43.15.025 *Abbreviated Plats*.
2. A soils report was submitted pursuant to MSB 43.20.281(A). All lots have the required usable area.
3. All lots will have the required frontage pursuant to MSB 43.20.320.
4. There were no objections from any borough departments, outside agencies, utilities, or the public.
5. At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; MSB Emergency Services, Community Development, or Assessments; the public; MTA or MEA.

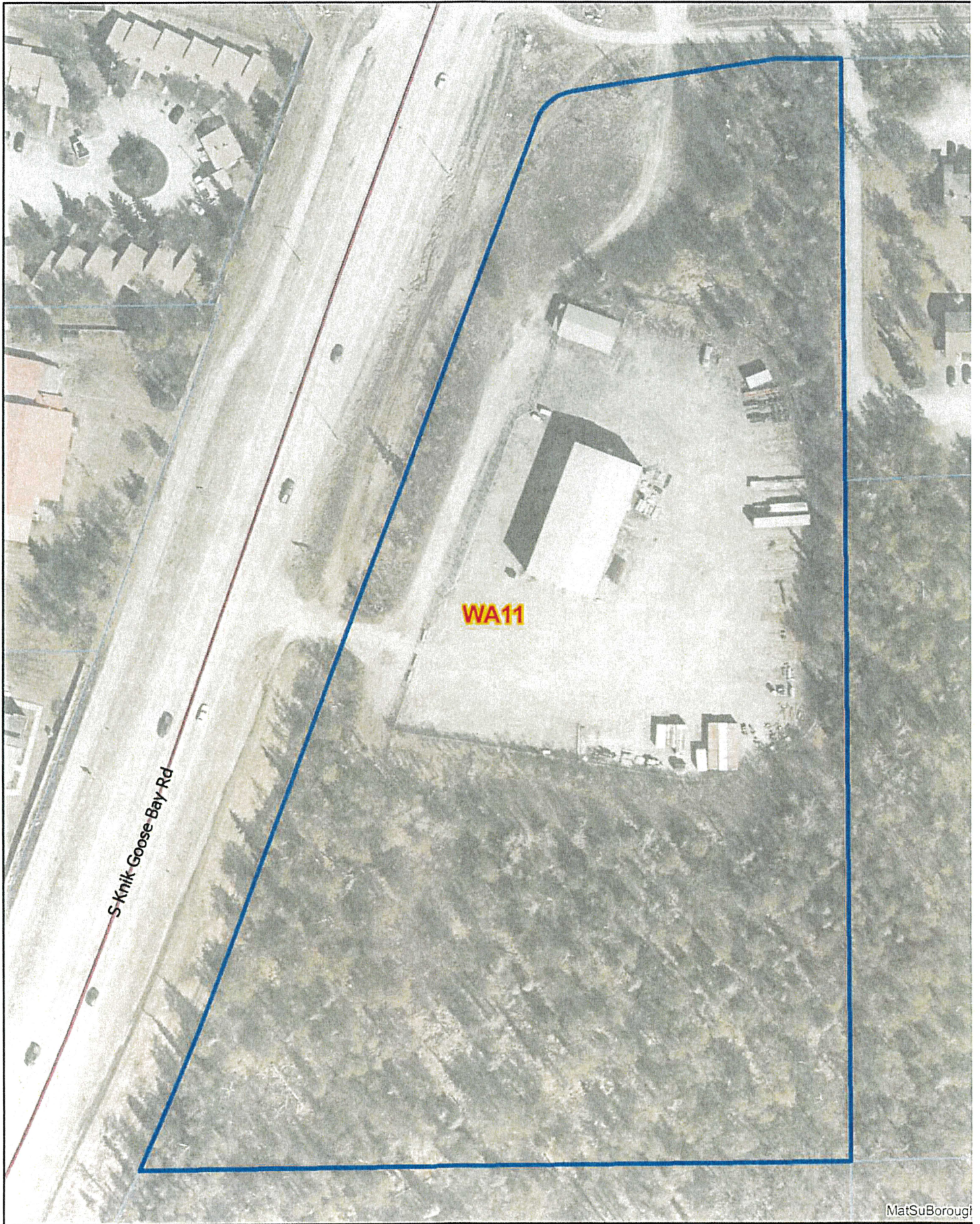
RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of the abbreviated plat of Deone Lots 2A & 2B, contingent on the following recommendations:

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Add a plat note stating that if Lot 2B is further subdivided, E. Browns Avenue will need to be upgraded to a minimum residential standard as outlined in the 2022 SCM.
4. Pay postage and advertising fees.
5. Show all easements of record on final plat.
6. Record an ENSTAR Natural Gas Easement document for a ten foot (10 FT) wide natural gas easement, centered on the service line at this location, and provide recording information on final plat.
7. Add a plat note stating: "No direct access for Lot 2A to Palmer-Wasilla Highway unless otherwise approved by the permitting authority."
8. Submit recording fees, payable to Department of Natural Resources (DNR).
9. Submit final plat in full compliance with Title 43.



VICINITY MAP
FOR PROPOSED DEONE LOTS 2A & 2B
SUBDIVISION
LOCATED WITHIN
SECTION 15, T17N, R01W, SEWARD MERIDIAN
ALASKA
WA11 MAP



100 50 0 100 Feet

MatSu Borough



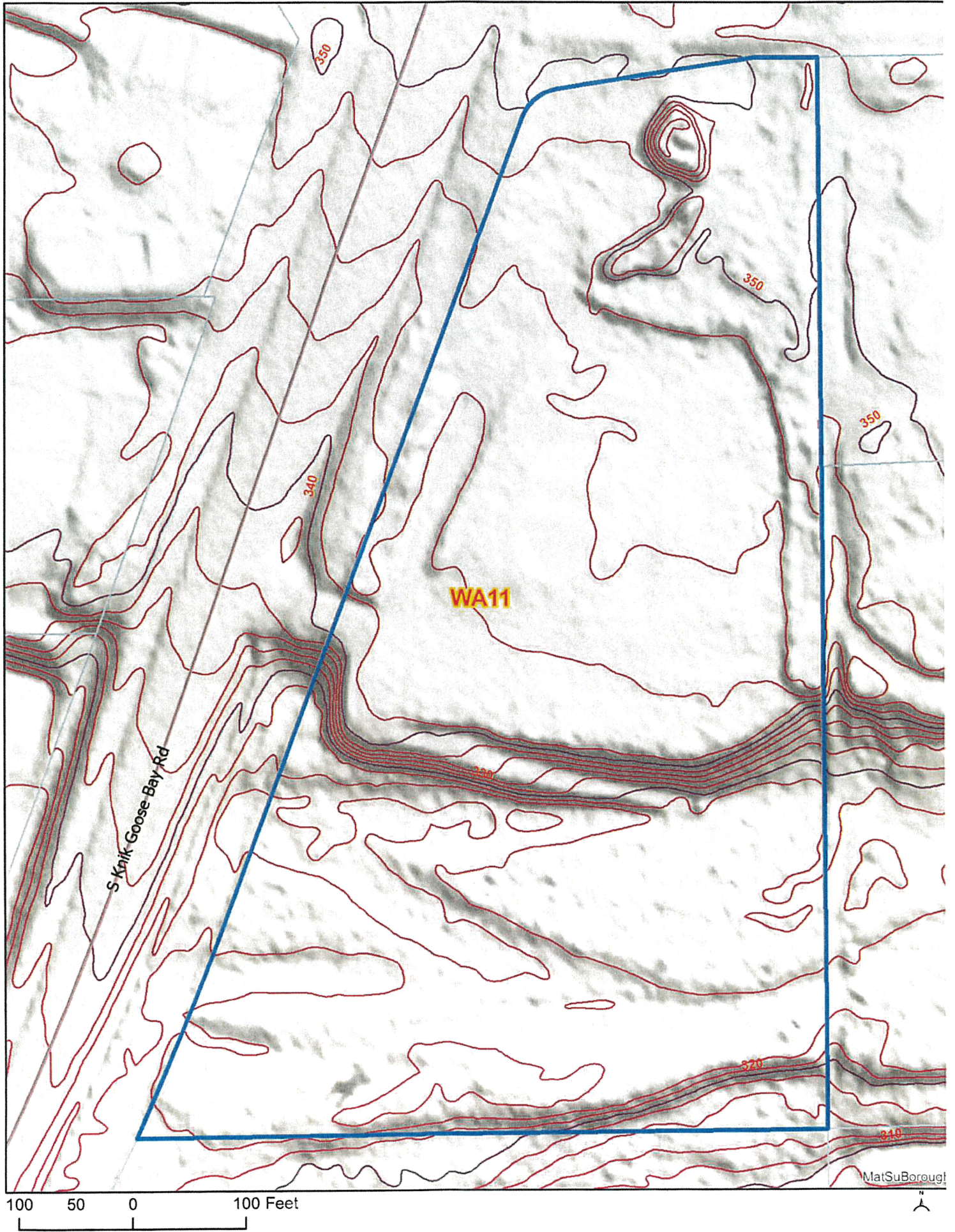


EXHIBIT A-4



27 March 2024

R&M No. 3107.01

James Sears, MBA
Sr. Director of Facilities Operations
Southcentral Foundation
4501 Diplomacy Drive
Anchorage, Alaska 99508

**RE: Deone Subdivision - Geotechnical Investigation Report (Soils Report)
1301 South Knik Goose Bay Road, Wasilla, Alaska**

Dear Mr. Sears,

Southcentral Foundation (SCF) contracted¹ R&M Consultants, Inc. (R&M) to provide professional services including geotechnical investigation in support of a proposed subdivision of the subject property in Wasilla, Alaska (**Drawing 01**). This report summarizes the results of our geotechnical investigation for the project, which included: test borings advanced within the proposed new subdivision lots, laboratory soils testing on collected samples, and preparation of this geotechnical report including general conclusions regarding site suitability for septic system and well installations and general site development.

BACKGROUND

The Deone Subdivision (NW1/4, NW1/4, Section 15, T17N, R1W, Seward Meridian Alaska) is located southeast of the intersection of Knik Goose Bay Road and Palmer Wasilla Highway (**Drawing 02**). SCF is planning to subdivide Lot 2 of the Deone Subdivision into two proposed lots: Lot 2A and Lot 2B (**Drawing 03**). Lot 2A encompasses approximately 2.3 acres of the northern portion of the wider property. Lot 2B encompasses approximately 6.9 acres of the southern portion the wider property. The central portion of Deone Subdivision Lot 2, including portions of both proposed new lots, was developed with an existing SCF facility. Geotechnical investigation was performed to document subsurface soil conditions within the proposed lots in support of the subdivision effort.

FIELD INVESTIGATION

The geotechnical subsurface investigation program was performed on 8 and 9 February 2024 and consisted of advancing, sampling, and logging a total of three test borings to depths of 25 to 26 feet below ground surface (BGS). 1-inch slotted PVC casings were installed in each test boring to allow for groundwater measurements after drilling. Field activities were guided by an R&M geologist who maintained logs of the test borings and samples. Test borings were logged and sampled in general accordance with practices outlined in the Alaska Department of Transportation and Public Facilities (DOT&PF) Geotechnical Procedures Manual².

¹ SCF Contract 2024-037/Amendment 1 to Contract 2023-296

² DOT&PF, 2007. Alaska Geotechnical Procedures Manual. Dated May 2007.

Test boring locations were located accordingly:

- **Lot 2A:** Test Boring RM24-TB02 was in the central portion of the proposed lot.
- **Lot 2B:** Test Borings RM24-TB01 and RM24-TB03 were distributed across the proposed lot. Ground surface and vegetation conditions limited drill rig access for pushing Test Boring RM24-TB03 further into the site.

Test boring locations were recorded using a recreational grade GPS unit³. **Drawing 03** presents approximate test boring locations relative to recent site imagery and approximate site boundaries. A summary of the general notes and an explanation (key) for the test hole logs are presented as **Drawings 04 and 05**, respectively. Logs of the test holes are presented as **Drawings 06 through 11**. GPS coordinates for the test holes are presented on the attached logs and summarized below on **Table 1**.

Test boring and sampling operations were performed by Winger Drilling, Inc. (Winger) of Wasilla, using a track-mounted CME-55 drill rig (**Figures 1 through 3**). Winger performed snow removal using a skid-steer where necessary to access the test borings. Test borings were advanced using continuous flight, 8-inch nominal outside diameter (OD), 3.25-inch inside diameter (ID), hollow-stem augers. A modification of the Standard Penetration Test (SPT; ASTM D1586) was employed to collect disturbed soil samples below the ground surface at regular intervals using 2.5-inch ID (3.0-inch OD) split-spoon samplers advanced by a 340-pound automatic drop-hammer with a fall of 30 inches. Hammer blows (uncorrected) required to drive the samplers each six inches of an 18 to 24-inch interval were recorded as shown on the test boring logs.

Figure 1: CME-55 Drilling Rig on Proposed Lot 2A

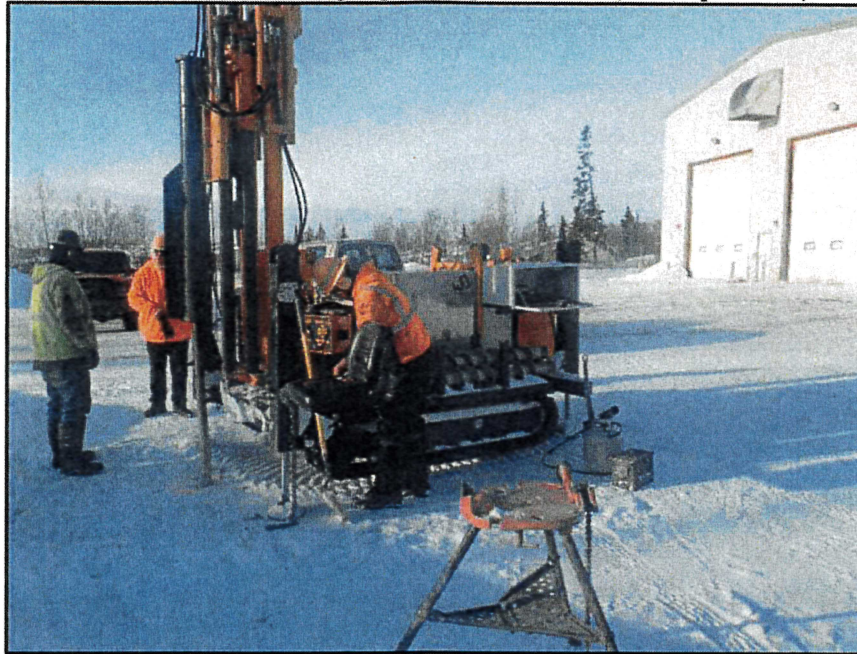


Note: Drill rig positioned near Test Boring RM24-TB02, viewing south, 9 February 2024.

³ Recreational grade GPS units are limited to a maximum accuracy of about 15 feet.



Figure 2: CME-55 Drilling Rig on Proposed Lot 2B (Developed Area)



Note: Drill rig positioned at Test Boring RM24-TB01, viewing northwest, 8 February 2024.

Figure 3: CME-55 Drilling Rig on Proposed Lot 2B (Undeveloped Area)



Note: Drill rig positioned at Test Boring RM24-TB03, viewing east, 9 February 2024.



Test borings were backfilled with soil cuttings generated during advancement. 1-inch diameter slotted PVC casings were installed at each test boring location for the purpose of enabling monitoring of groundwater levels, or confirming lack thereof, after drilling. Groundwater measurements in the PVC casings were performed immediately after backfilling each test boring.

After visual and ductile field classification, samples were sealed in double plastic bags and returned to R&M's laboratory in Anchorage for further examination and testing.

LABORATORY TESTING

A laboratory testing program was developed to provide data on subsurface characteristics and material properties. Testing consisted of measuring general soil index properties for soil classification and was performed at the R&M Materials Laboratory in Anchorage in accordance with the following ASTM⁴ procedures: Particle Size Analysis (D 422); Moisture Content (D 2216); and Classification of Soils (D 2487 and D 2488); It should be noted that the size of gravel particles obtained using 2.5-inch ID split spoon samplers is limited to the size of the opening of the sampler. Therefore, the samples collected using split spoon samplers were thus not necessarily representative of the coarse gravel fraction.

The ASTM Unified Soil Classification System (USCS) and Frost Design Soil Classification system used for this project are summarized on **Drawings 12 and 13**, respectively. Laboratory test results are presented on the Test Boring Logs and on the Summary of Laboratory Data, **Drawing 14**. Gradation curves are presented on **Drawings 15 through 17**.

SITE CONDITIONS

The following summarizes information pertaining to the surface and subsurface conditions encountered or interpreted within the project area based on the findings of the investigation. Vicinity/Location, Area, and Investigation Location maps for the project site are attached as **Drawings 01 through 03**, respectively.

Regional Geology. The project site is located within the Cook Inlet-Susitna Lowland physiographic province of Alaska⁵. This area is characterized as a glaciated lowland containing areas of ground moraine and stagnant ice topography, drumlin fields, eskers, and outwash plains. The topography is primarily the product of five major glacial advances that crossed the area in the middle to late Pleistocene age⁶, as well as the effect of colluvial and alluvial deposits consequent with or subsequent to the advances. Surficial soils across the project site vicinity have been mapped as ground moraine deposits; chiefly till with local gravel cover (**Figure 4**). The in-situ soil profile encountered at the project site appeared generally consistent with this geological mapping.

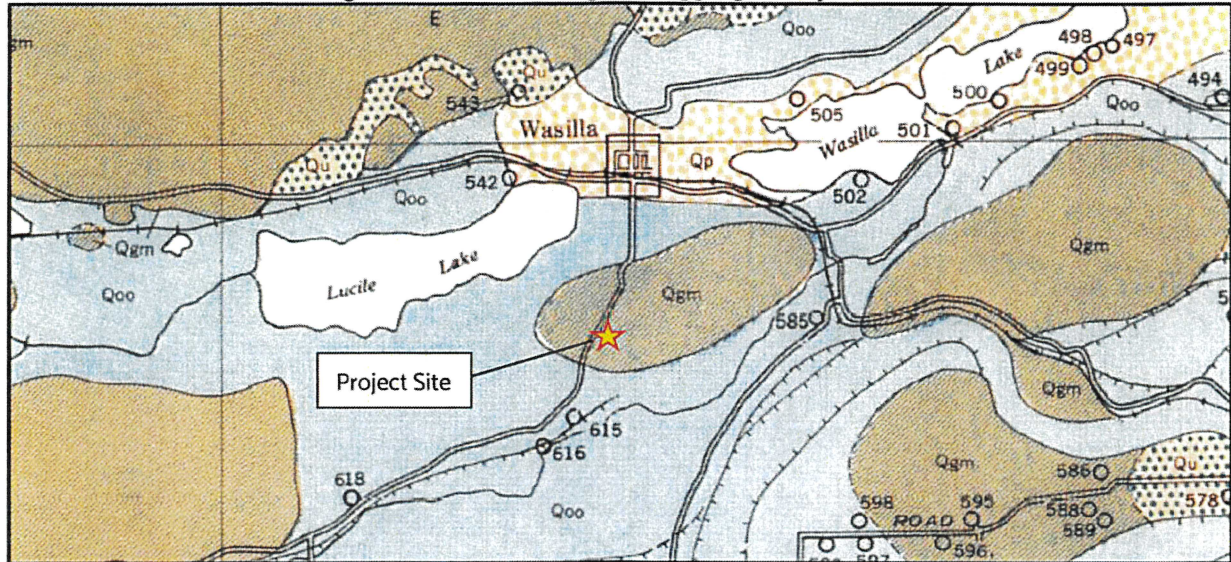
⁴ American Society of Testing and Materials (ASTM), 2024. Annual Book of ASTM Standards, Volumes 04.08 and 04.09, Soil and Rock. ASTM D 422 was not reapproved following calendar year 2016 but remains commonly employed in geotechnical practice.

⁵ Wahrhaftig, Clyde. 1965. Physiographic Divisions of Alaska. U.S. Geological Survey Professional Paper 482.

⁶ Coulter, H.W., et al. 1965. Map Showing Extent of Glaciations in Alaska. U.S. Geological Survey Miscellaneous Geologic Investigations Map I-415. 1 sheet. Scale 1:2,500,000.



Figure 4: Surficial Geological Mapping of Project Area



Notes: Map extracted from Trainer, 1960⁷. Map key below:

- Qgm (olive green shading): Quaternary ground moraine deposits; till, in part gravelly, and locally with gravel cover.
- Qoo (light blue shading): Older Quaternary outwash deposits; chiefly sand, gravel, and some silt.
- Qp (yellow dots): Pitted deposits; Chiefly terraced outwash stream deposits, including eskers and crevasse fillings.
- Qu (blue dots): Undifferentiated deposits; Chiefly deposits of outwash streams, includes nonglacial lake and stream deposits.
- White shading: Water.

Surface. Heavy snow cover at the time of the investigation limited direct observations of the ground surface in areas not cleared of snow. Surface conditions on the two proposed lots consisted of the following:

- **Lot 2A** had relatively flat surface topography and contained a gravel road, a log cabin-style building, and gravel parking area in the south. The eastern portion of the proposed lot is wooded, and the western portion is cleared with minor vegetation regrowth.
- **Lot 2B** was split into two general areas roughly halfway by an east-west fence line running along the top of south-dipping slope, with a developed area to the north above the slope and an undeveloped area to the south below the slope. The developed northern portion of proposed Lot 2B contained a large garage building with a relatively flat gravel traffic surface surrounding the structure and extending to the fence line. The slope below the gravel lot appeared to be the result of previous site grading activities, with a relatively thick fill section at the slope. The undeveloped area of proposed Lot 2B was approximately 10 to 15 feet lower in elevation with a relatively level but undulating surface, dense vegetation, and a loose silty sand surface containing high organic content and fallen trees. Vegetation in this area consisted of mature spruce and birch trees as well as alders, grasses, and other low-lying brush.

⁷ Trainer, F.W., 1960. Map of the Matanuska Valley Agricultural Area, Alaska, Showing Surficial Geology and Location of Wells. Geological Survey Water-Supply Paper 1494, Plate 1, Scale 1:50,000.



Soil Profile. The subsurface soil profile encountered at the test boring locations was interpreted consisting of three generalized soil units: (I) Coarse Fill Material, (II) Silty Surficial Soil, and (III) Glacial Till. The depth interval of these generalized units at each test boring is summarized on **Table 1**. Descriptions for each unit highlighting soil classification, density, and laboratory testing results are provided below.

Table 1: Generalized Soil Unit Profile at Test Boring Locations

Test Hole Number (Arranged north to south)	Proposed Subdivision Lot	GPS Coordinates (WGS84)		Interpreted Depth of Generalized Soil Unit (Feet BGS)			Groundwater Depth (feet BGS)
		Latitude (N)	Longitude (W)	UNIT I Coarse Fill Material	UNIT II Silty Surficial Soil	UNIT III Glacial Till	
RM24-TB02	Lot 2A	61.57003	149.44396	0 to 2.0	--	2.0 to 25.7 TD	12.6 AB
RM24-TB01	Lot 2B	61.56884	149.44428	0 to 5.5	5.5 to 15.3	15.3 to 26.5 TD	17.3 AB
RM24-TB03	Lot 2B	61.56794	149.44606	--	0 to 2.0	2.0 to 25.9 TD	13 WD

Table Notes:

BGS = below ground surface.
 TD = total depth of test hole.
 AB = groundwater depth measured immediately after drilling.
 WD = estimated groundwater depth observed while drilling.

Unit I – Coarse Fill Material, estimated consisting of poorly graded gravel with sand and well graded gravel with silt and sand (USCS = GP, GW-GM), was encountered surfacing the developed portions of the site and extending to depths of 5.5 and 2.0 feet bgs at Test Borings RM24-TB01 and RM24-TB02, respectively. The Coarse Fill Material unit was moist when thawed, nonplastic, and contained cobbles and possible boulders based on drill action and sample recovery. These samples were all recovered in the frozen state; therefore density was not discernible. These soils were estimated to be non to slightly frost susceptible (NFS to F1).

Unit II –Silty Surficial Soil, consisting of sandy silt and silty sand (USCS = ML, SM), was encountered below the Coarse Fill Material unit at Test Borings RM24-TB01 and RM24-TB-02 and extending below the ground surface at Test Boring RM24-TB03 in the undeveloped portion of the site. The Silty Surficial Soil unit typically contained fine to coarse sand, variable trace gravel content, and trace to some organic content consisting of woody debris and disseminated organic matter. Below frost, this soil unit was moist to wet, estimated as nonplastic to low plasticity, and was very loose to loose in consistency. Percent passing the No. 200 Standard sieve was 48 and 63 percent in the two samples from this unit tested for gradation. These soils were estimated to be highly frost susceptible (F3 to F4).

Unit III – Glacial Till Deposits, consisting of well to poorly graded sand and gravel to silty sand and gravel (USCS= SW-SM, SP-SM, SM, GP-GM, GW-GM, GM), was encountered below fill materials or the Silty Surficial Soil unit and extending to completion depth at each test boring, consistent with the 'Qgm' unit mapped at the project site (**Figure 4**). These soils were generally interpreted to be medium dense to very dense in consistency, moist to wet, with estimated non-plastic to low plasticity fines, and containing cobbles and possible boulders based on drilling action and sample recovery. P200 content ranged from 5 percent to 30 percent in the four samples from this unit tested for gradation. These soils were estimated to be slightly to highly frost susceptible (S1 to F3).



Groundwater was encountered during this investigation while drilling or measured immediately after drilling at levels between 12.6 feet BGS and 17.3 feet BGS⁸. We anticipate groundwater levels at this site to rise during spring and other times of high precipitation or runoff. We understand the ditches along the Palmer-Wasilla Highway and Knik Goose Bay Road have a history of holding considerable standing water during the Spring thaw season, which may influence groundwater levels at this site.

Permafrost was not suspected or interpreted at the test hole locations during this investigation, and we generally do not anticipate permafrost affecting this site. The project area is regionally mapped as containing isolated masses of permafrost (less than 10 percent area coverage) with heightened potential for perennially frozen soil in areas with high ground insulation such as bogs or swamps⁹.

Bedrock was not suspected or interpreted at the test hole locations during this investigation. We do not anticipate shallow bedrock conditions affecting this site.

GENERAL CONCLUSIONS

General conclusions, based on the results of this investigation, regarding suitability for onsite water and wastewater system installations and site development for both proposed subdivision lots are provided below. **Lot 2A.** The investigation results indicate favorable conditions for the installation of water wells, onsite wastewater disposal (i.e., septic) systems, and site development. **The proposed lot contains greater than 10,000 square feet of usable building area and greater than 10,000 square feet of contiguous septic area in accordance with Matanuska-Susitna Borough Code 43.20.281(A).** Design and installation of onsite wastewater disposal and water systems should be performed in accordance with the governing Alaska Department of Environmental Conservation requirements for these systems.

Favorable soils (Unit III defined above) for support of foundations and other developments were encountered at relatively shallow depths at this site. Variable cover of Silty Surficial Soil (Unit II defined above) is anticipated at this site, particularly in the eastern portion. The Silty Surficial Soil is generally not favorable for support of conventional foundations and should be removed within the influence areas of foundations where encountered. Foundation and other site development design should consider the high frost susceptibility of the near surface soils underlying this site.

Lot 2B. The investigation results indicate favorable conditions for the installation of water wells, onsite wastewater disposal (i.e., septic) systems, and site development. **The proposed lot contains greater than 10,000 square feet of usable building area and greater than 10,000 square feet of contiguous septic area in accordance with Matanuska-Susitna Borough Code 43.20.281(A).** Design and installation of onsite wastewater disposal and water systems should be performed in accordance with the governing Alaska Department of Environmental Conservation requirements for these systems.

Generally, favorable soils (Unit III defined above) for support of foundations and other developments are anticipated at relatively shallow depths across most of this site. However, very loose Silty Surficial Deposits (Unit II defined above) were

⁸ Additional groundwater measurements are planned to be recorded by R&M during late Spring or early Summer 2024, results presented in a future memorandum submitted to SCF.

⁹ Jorgenson et al., 2008. "Permafrost Characteristics of Alaska", Institute of Northern Engineering, University of Alaska.



encountered underlying the fill embankment and extending to a depth of around 15 feet BGS at Test Boring RM24-TB01 within the embankment south of the garage building. We anticipate this unfavorable soil condition extends south from the garage building to the soil slope beyond the south fence line. Foundation design and further development in this area should consider the potential for unfavorable foundation conditions extending to depth of 15 feet or greater below the graded embankment surface existing at the time of this investigation. Additionally, developments in the immediate vicinity of the existing soil slope should consider a potential for instability of this slope.

Variable cover of Silty Surficial Soil is anticipated at this site. The Silty Surficial Soil is generally not favorable for support of conventional foundations and should generally be removed within the influence areas of foundations where encountered. Foundation and other site development design should consider the high frost susceptibility of the near surface soils underlying this site.



SCF Deone Subdivision - Geotechnical Investigation Report
27 March 2024

R&M No. 3107.01
Page 9 of 9

CLOSURE

R&M Consultants, Inc. performed this work in a manner consistent with the level of skill ordinarily exercised by members of the profession currently practicing under similar conditions. No warranty, express or implied, beyond exercise of reasonable care and professional diligence, is made. This report is intended for use only in accordance with the purposes of study described within.

We appreciate the opportunity to perform this geotechnical investigation. Should you require further information concerning the investigation or this report, please contact us at your convenience.

Sincerely,

R&M CONSULTANTS, INC.



Brian M. Mullen, P.E.
Geotechnical Engineer

Drafted by:

A handwritten signature in cursive that reads "Alex M. Brown".

Alex M. Brown
Staff Geologist

Reviewed by:

A handwritten signature in cursive that reads "Aaron T. Banks".

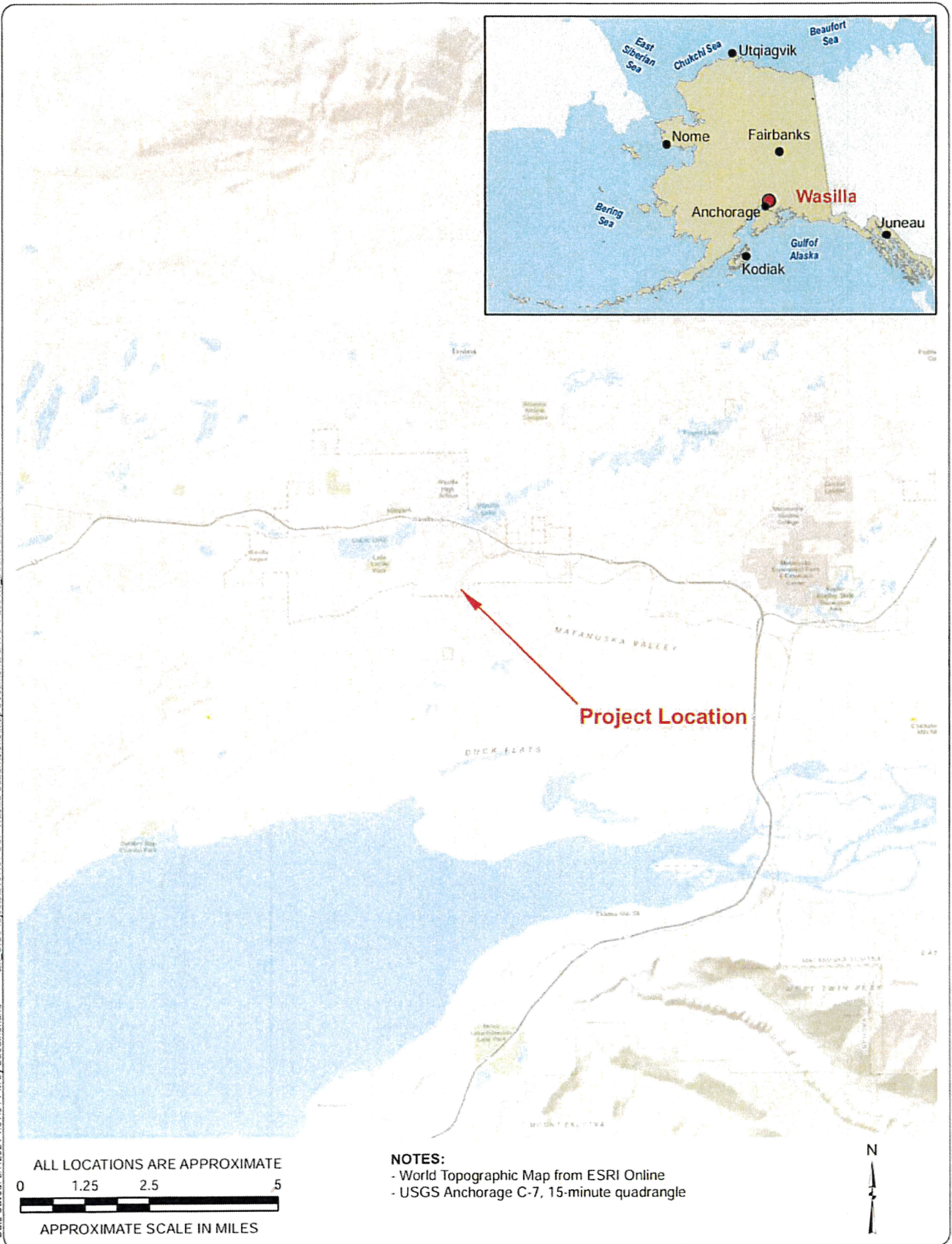
Aaron T. Banks, C.P.G.
Senior Geologist

ATTACHMENTS

- Location/Vicinity and Area Maps (**Drawings 01 and 02**)
- Investigation Location Map (**Drawing 03**)
- General Notes (**Drawing 04**)
- Explanation of Selected Symbols (**Drawing 05**)
- Test Hole Logs (**Drawings 06 through 11**)
- Classification of Soil for Engineering Purposes (**Drawing 12**)
- USACE Frost Design Soil Classification (**Drawing 13**)
- Summary of Laboratory Soils Data (**Drawing 14**)
- Gradation Curves (**Drawings 15-17**)



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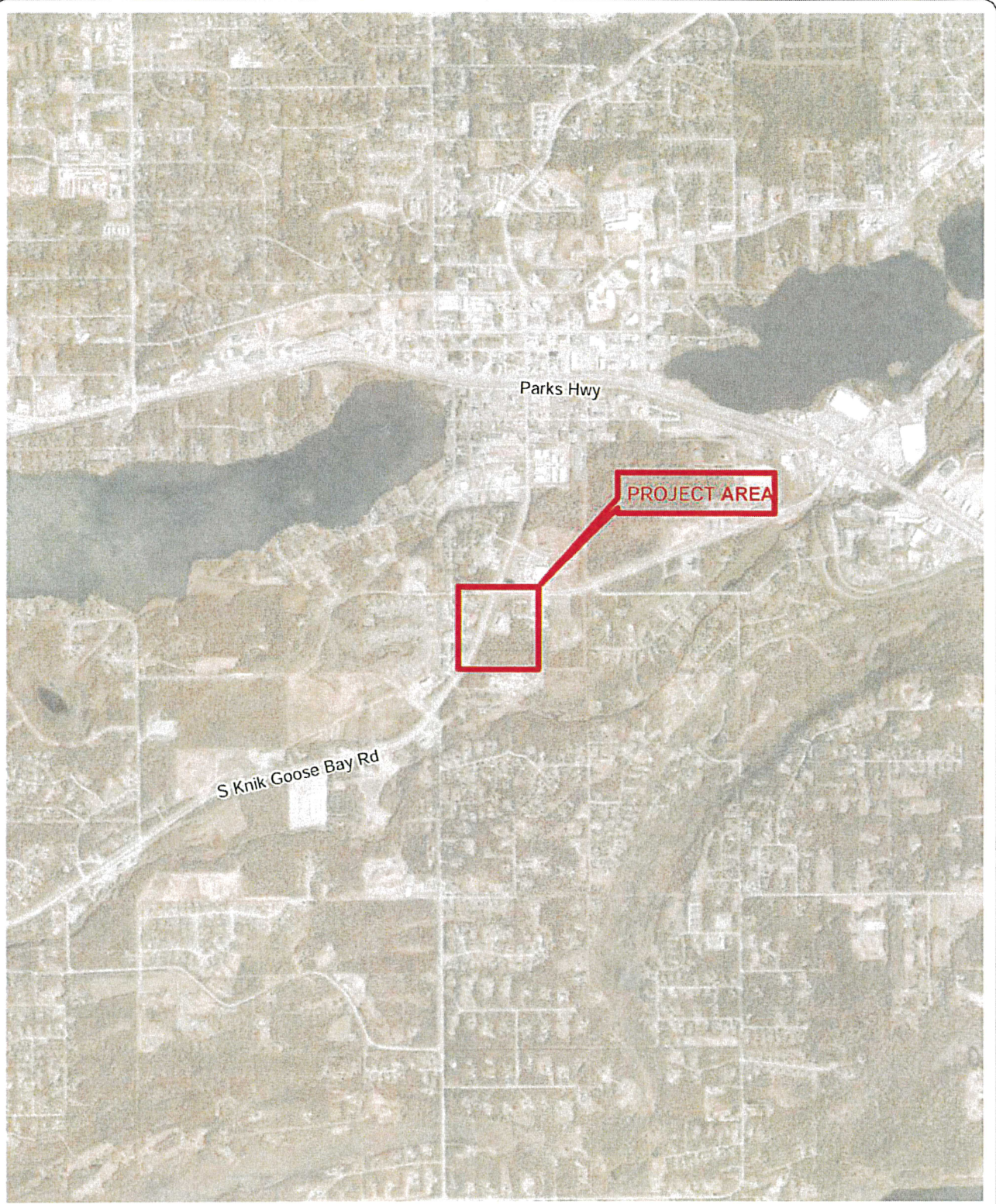


SCF DEONE SUBDIVISION
 WASILLA, AK

LOCATION AND VICINITY MAP

PROJ.NO: 3107.01
 DATE: MAR 2024
 REF: GEOTECH RPT
 DRAWING NO: 01

Date Saved: 3/7/2024 9:01:22 AM by L.Southernland Z:\GIS\Projects\3107.01_SCF_Wasilla_Subdivisions\Map_Documents\DWG-2_AreaMap_Deone.mxd



ALL LOCATIONS ARE APPROXIMATE
0 1,200 2,400 4,800
APPROXIMATE SCALE IN FEET

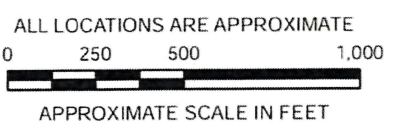
NOTES:
- Aerial Photography from World Imagery on ESRI Online



SCF DEONE SUBDIVISION
WASILLA, AK
AREA MAP

PROJ.NO:	3107.01
DATE:	MAR 2024
REF:	GEOTECH RPT
DRAWING NO:	02

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NOTES:
- Aerial Photography from World Imagery on ESRI Online



SCF DEONE SUBDIVISION
WASILLA, AK

INVESTIGATION LOCATION MAP

PROJ.NO:	3107.01
DATE:	MAR 2024
REF:	GEOTECH RPT
DRAWING NO:	03

SOILS CONSISTENCY AND SYMBOLS

CLASSIFICATION: Identification and classification of the soil is accomplished in accordance with the ASTM version of the Unified Soil Classification System. When laboratory testing data on material passing the 75-mm sieve is available Standard D 2487 (Classification of Soils for Engineering Purposes) is used and when laboratory data is not available D 2488 (Visual-Manual Procedure) is used. This classification system identifies three major soil divisions: coarse-grained soils, fine-grained soils, and highly organic soils. These three divisions are further subdivided into a total of 15 basic soils groups. Based on the results of visual observations and prescribed laboratory tests, a soil is catalogued according to the basic soil groups, assigned a group symbol(s) and name, and thereby classified. Flow charts contained in the two standards can be used to assign the appropriate group symbol(s) and name.

SOIL DENSITY/CONSISTENCY - CRITERIA: Soil density/consistency as defined below and determined by normal field and laboratory methods applies only to non-frozen material. For these materials, the influence of such factors as soil structure, i.e. fissure systems shrinkage cracks, slickensides, etc., must be taken into consideration in making any correlation with the consistency values listed below. In permafrost zones, the consistency and strength of frozen soil may vary significantly and inexplicably with ice content, thermal regime and soil type.

<u>COARSE GRAINED</u> (DOT&PF 2007)		<u>FINE GRAINED</u> (ASTM D 2488)	
<u>Relative Density</u>	<u>N * (blows/FT.)</u>	<u>Consistency</u>	<u>Thumbnail Test</u>
Very loose	0 - 4	Very soft	Thumb > 1 in.
Loose	5 - 10	Soft	Thumb = 1 in.
Medium dense	11 - 30	Firm	Thumb = 1/4 in.
Dense	31 - 50	Hard	Thumbnail indents
Very dense	>50	Very hard	Thumbnail will not indent

* Standard Penetration "N": Blows per 12 inches of a 140-pound manual hammer (lifted with rope & cathead) falling 30 inches on a 2-inch O.D. split-spoon sampler except where noted. Blow counts presented on test boring logs are direct field values (i.e. they have not been corrected to account for hammer efficiency, borehole diameter, sampling method, or rod length)

KEY TO TEST RESULTS

DD - Dry Density	PP - Pocket Penetrometer
LL - Liquid Limit	P200 - % Passing No. 200 Screen
MC - Moisture Content	P.02 - % Passing 0.02 mm
Org - Organic Content	P.005 - % Passing 0.005 mm
PI - Plastic Index	P.002 - % Passing 0.002 mm
PL - Plastic Limit	Gs - Specific Gravity
	Cs - Chemical Sample Identification



GENERAL NOTES

PROJ.NO:	GENERAL
DATE:	N/A
REF:	N/A
DWG.NO:	04

STANDARD SYMBOLS

SYMBOL	NAME	PARTICLE SIZE	SYMBOL	NAME
	CLAY	< 0.002mm, Plastic		ORGANICS
	SILT	0.002mm, - #200		ICE
	SAND (Sa)	#200, - #4		ICE W/SOIL INCLUSIONS
	GRAVEL (Gr)	#4, - 3"		ICE LENSE IN SOIL
	COBBLES & BOULDERS	3" - 12" & > 12"		ICE CRYSTALS IN CLAY

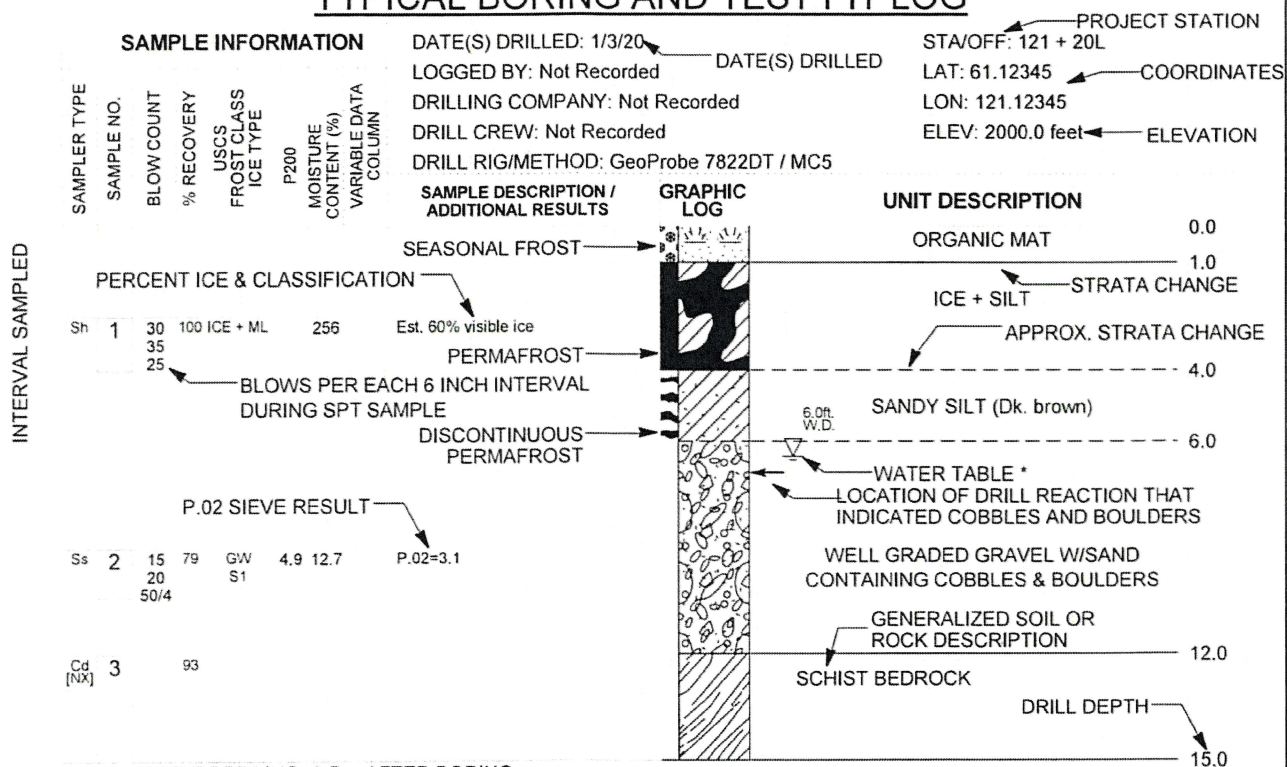
(The symbols shown above are frequently used in combinations, e. g. SILTY GRAVEL W/SAND)

SAMPLER TYPE SYMBOLS

A Auger Sample	MC 1.5 In. I.D. Macro-core	Tm Modified Shelby Tube
C Cuttings Sample	MC73.0 In. I.D. Macro-core	Ts 3.0 In. Shelby Tube
Cd Double Tube Core Barrel	Sh 2.5 In. Split Spoon w/340 lb. Manual Hammer	BX Rock Core - 1-5/8 in. core diameter
Cs Single Tube or Auger Core	Sha 2.5 In. Split Spoon w/340 lb. Auto Hammer	NX Rock Core - 2-1/8 in. core diameter
Ct Triple Tube Core Barrel	Sl 2.5 In. Split Spoon w/140 lb. Hammer	NQ Rock Core - 1-7/8 in. core diameter
G Grab Sample	Ss 1.4 In. Split Spoon w/140 lb. Manual Hammer	HQ Rock Core - 2-1/2 in. core diameter
	Ssa 1.4 In. Split Spoon w/140 lb. Auto Hammer	

NOTE: Sampler types are noted above the boring log or adjacent to it at the respective depth. Individual logs may not utilize all listed items.

TYPICAL BORING AND TEST PIT LOG



* W.D. - WHILE DRILLING. A.B. - AFTER BORING

** - REFER TO SAMPLER SYMBOL (Ss, Sh, ETC.) FOR SAMPLER I.D. & HAMMER WEIGHT/TYPE

NOTE: Water levels shown on the boring logs are the levels measured in the boring at the times indicated.



EXPLANATION OF SELECTED SYMBOLS

PROJ.NO:	GENERAL
DATE:	N/A
REF:	N/A
DWG.NO:	05

RM24-TB01

Log Page 1 of 2

DEPTH (FT)	SAMPLE INFORMATION				Date(s) Drilled: 2/8/24		Lat: 61.56884	
	SAMPLER TYPE	SAMPLE NO.	BLOW COUNT	PERCENT RECOVERY	USCS FROST CLASS ICE TYPE	MOISTURE CONTENT (PERCENT) P200 (%)	Logged By: A. Brown	Lon: -149.44428
0	Sha 1	1	55	100			Sampler refusal, Gray	0.0
2	Sha 2	2	17	100			Sampler refusal, Gray	
			50/0.1					
4	Sha 3	3	30	100			Gray	
6	Sha 4	4	41				Brown, Wood chunks in cuttings (<3")	5.5
			46					
8	Sha 5	5	3	100	SM* F3*	30.1 48	Dk. brown, Est. 5-10% visible organics by volume (woody debris/leaves/disseminated orgs.), Gr=7, Sa=45, Fines=48	
			2					
			2					
10	Sha 6	6	0	87	ML* F4*	31.4 63	Dk. brown, Est. 5% visible organics by volume (woody debris/roots/disseminated orgs.), Fines=63	9.5
			0					
			1					
12							SANDY SILT W/ ORGANICS CONTAINING COBBLES & BOULDERS, Broke through cobble or boulder at ~12', Fine sand, Nonplastic to low plasticity, Soft to firm, Moist	
14								14.0

(Continued on Next Page)



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	06

RM24-TB01

Log Page 2 of 2

DEPTH (FT)	SAMPLE INFORMATION				Date(s) Drilled: 2/8/24		Lat: 61.56884	
	SAMPLER TYPE	SAMPLE NO.	BLOW/COUNT	PERCENT RECOVERY	USCS FROST CLASS ICE TYPE	MOISTURE CONTENT (PERCENT)	P200 (%)	Logged By: A. Brown
								Drilling Company: Winger Drilling
								Drill Crew: Frank & Cole Winger
								Rig/Method: Tracked CME 55 / 3.25" I.D. HSA
					SAMPLE DESCRIPTION / ADDITIONAL RESULTS	GRAPHIC LOG	UNIT DESCRIPTION	
14								
	Sha 7	19	100					
	8	23			Dk. brown. Est. 5-10% visible organics by volume (woody debris/roots/disseminated orgs.)			
		26			Gray-brown			
16								
18								
20	Sha 9	7	100	6.0	Brown. Est. <5% visible organics by volume (woody debris)			
		19						
		49						
22								
24								
26	Sha 10	3	100		Brown			
		43						
		48						

* Estimated classification
 1) Latitude and Longitude coordinates reference the WGS 84 datum and were recorded using a recreational-grade GPS unit.
 2) Gr = gravel (%), Sa = Sand (%), Fines = Passing the No. 200 sieve (%), P.xx = % passing size mm.
 3) Groundwater levels were interpreted based on sample conditions while drilling (WD) and by water level indicator after boring (AB).
 4) 1-inch slotted PVC casing installed to 26.5 feet for monitoring of groundwater levels.



SCF WASILLA SUBDIVISIONS (DEONE)
 WASILLA, AK
 LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	07

RM24-TB02

Log Page 1 of 2

DEPTH (FT)	SAMPLE INFORMATION				Date(s) Drilled: 2/9/24		Lat: 61.57003	
	SAMPLER TYPE	SAMPLE NO.	BLOW COUNT	PERCENT RECOVERY	USCS FROST CLASS ICE TYPE	MOISTURE CONTENT (PERCENT)	P200 (%)	Logged By: A. Brown
								Drilling Company: Winger Drilling
								Drill Crew: Frank & Cole Winger
								Rig/Method: Tracked CME 55 / 3.25" I.D. HSA
					SAMPLE DESCRIPTION / ADDITIONAL RESULTS	GRAPHIC LOG	UNIT DESCRIPTION	
0	Sha 1	16	93					Brown
		12						
		9						
2	Sha 2	7	93					Brown, Est. <5% visible organics by volume (roots)
		16						
		18						
4	Sha 3	12	93		GM* F3*	9.3	22	Brown, Gr=41, Sa=37, Fines=22
		22						
		20						
6	Sha 4	24	57		SM* F3*	5.8	30	Driving gravel/cobble, Brown, Fines=30
		32						
		50/0.4						
8	Sha 5	38	57					Sampler refusal, Brown
		50/0.2						
10								
12								
14								

(Continued on Next Page)



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK

LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	08

RM24-TB02

Log Page 2 of 2

DEPTH (FT)	SAMPLE INFORMATION				Date(s) Drilled: 2/9/24		Lat: 61.57003		
	SAMPLER TYPE	SAMPLE NO.	BLOW/COUNT	PERCENT RECOVERY	USCS FROST CLASS ICE TYPE	MOISTURE CONTENT (PERCENT) P200 (%)	Logged By: A. Brown Lon: -149.44396		
					Drilling Company: Wininger Drilling				
					Drill Crew: Frank & Cole Wininger				
					Rig/Method: Tracked CME 55 / 3.25" I.D. HSA				
					SAMPLE DESCRIPTION / ADDITIONAL RESULTS	GRAPHIC LOG	UNIT DESCRIPTION		
14								14.0	
	Sha 6	52	20		Sampler refusal, poor recovery, Brown				
16									
18									
20	Sha 7	7	107	6.1	Sampler refusal, sampler overfilled, Brown		SILTY SAND W/GRAVEL CONTAINING COBBLES & BOULDER. Gravel subrounded to angular, Fine to coarse sand, Nonplastic to low plasticity fines. Very dense, Moist to wet, Tough drilling throughout unit		
		32							
		50/0.4							
22									
24	Sha 8	17	100		Sampler refusal, Brown				
								25.7	

* Estimated classification

- 1) Latitude and Longitude coordinates reference the WGS 84 datum and were recorded using a recreational-grade GPS unit.
- 2) Gr = gravel (%), Sa = Sand (%), Fines = Passing the No. 200 sieve (%), P.xx = % passing size mm.
- 3) Groundwater levels were interpreted based on sample conditions while drilling (WD) and by water level indicator after boring (AB).
- 4) 1-inch slotted PVC casing installed to 25.7 feet for monitoring of groundwater levels.



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK

LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	09

RM24-TB03

Log Page 1 of 2

DEPTH (FT)	SAMPLE INFORMATION					Date(s) Drilled: 2/9/24		Lat: 61.56794			
	SAMPLER TYPE	SAMPLE NO.	BLOW COUNT	PERCENT RECOVERY	USCS FROST CLASS ICE TYPE	MOISTURE CONTENT (PERCENT)	Logged By: A. Brown		Lon: -149.44606		
					Drilling Company: Winger Drilling		Drill Crew: Frank & Cole Winger				
					Rig/Method: Tracked CME 55 / 3.25" I.D. HSA						
					SAMPLE DESCRIPTION / ADDITIONAL RESULTS	GRAPHIC LOG	UNIT DESCRIPTION				
0	Sha 1	1	0	87			Dk. brown, Est. 20-30% visible organics by volume (woody debris/roots/disseminated orgs.) Reddish brown, Est. 5% visible organics by volume (woody debris/disseminated orgs.)	ORGANIC SOIL (SILTY SAND)		0.0	
		2	2					SANDY SILT W/ ORGANICS, Fine to coarse sand, Nonplastic, Very Soft to soft		0.5	
			3								
2											
	Sha 3	3	6	60		8.9	Brown, Est. 5% visible organics by volume (woody debris/disseminated orgs.)			2.0	
			10								
4											
				8							
4	Sha 4	4	6	80	GP-GM* S1*	3.8	Brown, Est. <5% visible organics by volume (woody debris), Gr=55, Sa=40, Fines=5	POORLY GRADED GRAVEL W/SILT AND SAND (TILL), Gravel to 2.5" dia, subrounded to angular, Fine to coarse sand, Nonplastic fines, Medium dense, Moist			
			11								
			15								
6											
	Sha 5	5	5	100			Brown				
			14								
		14/0.2									
8											
10	Sha 6	6	10	80	SP-SM* F2*	2.8	Brown, Est. <5% visible organics by volume (woody debris), Fines=6	POORLY GRADED SAND W/SILT AND GRAVEL (TILL), Gravel to 2.5" dia, subrounded to angular, Fine to coarse sand, Nonplastic fines, Medium dense, Moist		9.5	
			10								
			13								
12											
14											
								(SEE NEXT PAGE)		13.5	
										14.0	

(Continued on Next Page)



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	10

RM24-TB03

Log Page 2 of 2

DEPTH (FT)	SAMPLE INFORMATION				Date(s) Drilled: 2/9/24		Lat: 61.56794	
	SAMPLER TYPE	SAMPLE NO.	BLOW COUNT	PERCENT RECOVERY	USCS	FROST CLASS	ICE TYPE	MOISTURE CONTENT (PERCENT)
14	Sha 7	22	80					
		28						
16		18						
18								
20	Sha 8	50	0					
22								
24	Sha 9	36	100					
		50/0.3						
24								
	Sha 10	7	100					
		50/0.4						

SAMPLE DESCRIPTION / ADDITIONAL RESULTS	GRAPHIC LOG	UNIT DESCRIPTION
Dk. brown		14.0
		POORLY GRADED GRAVEL W/SILT AND SAND CONTAINING COBBLES & BOULDERS (TILL). Gravel subrounded to angular, Fine to coarse sand, Nonplastic fines, Dense to very dense, Wet
Sampler refusal, no recovery, likely driving on cobble/boulder		21.6 AB
Sampler refusal, Gray		21.5
Sampler refusal, Gray		SILTY SAND W/GRAVEL (TILL), Gravel to 2" dia, subrounded to angular, Fine to coarse sand, Low plasticity fines, Very dense, Wet, Tough drilling
		25.9

* Estimated classification

- 1) Latitude and Longitude coordinates reference the WGS 84 datum and were recorded using a recreational-grade GPS unit.
- 2) Gr = gravel (%), Sa = Sand (%), Fines = Passing the No. 200 sieve (%), P.xx = % passing size mm.
- 3) Groundwater levels were interpreted based on sample conditions while drilling (WD) and by water level indicator after boring (AB).
- 4) 1-inch slotted PVC casing installed to 25.9 feet for monitoring of groundwater levels.



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
LOG OF TEST BORING

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	11

Z:\PROJECT\2846 01 ADNIR TLO PS TERM BOYD ROAD SUBDIVISION\ART\H\INT\ANDR TLO BOYD ROAD SUBDIVISION\G.PJ

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A			Soil Classification	
			Group Symbol	Group Name ^B
Coarse-grained Soils More than 50% retained on the No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines ^C	$Cu \geq 4$ and $1 < Cc < 3$ ^E	GW Well-graded gravel ^F
		Gravels with Fines More than 12% fines ^C	$Cu < 4$ and/or $1 > Cc > 3$ ^E	GP Poorly-graded gravel ^F
			Fines classify as ML or MH	GM Silty gravel ^{FGH}
	Sands 50% or more of coarse fraction passes No. 4 sieve	Clean Sands Less than 5% fines ^D	$Cu \geq 6$ and $1 < Cc < 3$ ^E	SW Well-graded sand ^I
			$Cu < 6$ and/or $1 > Cc > 3$ ^E	SP Poorly-graded sand ^I
		Sands with Fines More than 12% fines ^D	Fines classify as ML or MH	SM Silty sand ^{GHI}
Fine-grained Soils 50% or more passes the No. 200 sieve	Silt and Clays Liquid Limit less than 50	inorganic	$PI > 7$ and plots on or above "A" line ^J	CL Lean clay ^{KLM}
		organic	$PI < 4$ and plots below "A" line ^J	ML Silt ^{KLM}
			Liquid limit - oven dried Liquid limit - not dried < 0.75	OL Organic Clay ^{KLMN} Organic Silt ^{KLMO}
		Silt and Clays Liquid Limit 50 or more	inorganic	PI plots on or above "A" line
	organic		PI plots below "A" line	MH Elastic silt ^{KLM}
			Liquid limit - oven dried Liquid limit - not dried < 0.75	OH Organic Clay ^{KLMP} Organic Silt ^{KLMQ}
	Highly organic soils		Primarily organic matter, dark in color, and organic odor	

^A Based on the material passing the 3-in. (75-mm) sieve.

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^C Gravel with 5 to 12% fines require dual symbols:
GW-GM well-graded gravel with silt
GW-GC well-graded gravel with clay
GP-GM poorly-graded gravel with silt
GP-GC poorly-graded gravel with clay

^D Sands with 5 to 12% fines require dual symbols:
SW-SM well-graded sand with silt
SW-SC well-graded sand with clay
SP-SM poorly-graded sand with silt
SP-SC poorly-graded sand with clay

^E $Cu = D_{60} / D_{10}$ $Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$

^F If soil contains $\geq 15\%$ sand, add "with sand" to group name.

^G If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^H If fines are organic, add "with organic fines" to group name.

^I If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^J If Atterberg limits plot in hatched area, soil is a CL-ML, silty clay.

^K If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^L If soil contains $\geq 30\%$ plus No. 200, predominantly sand, add "sandy" to group name.

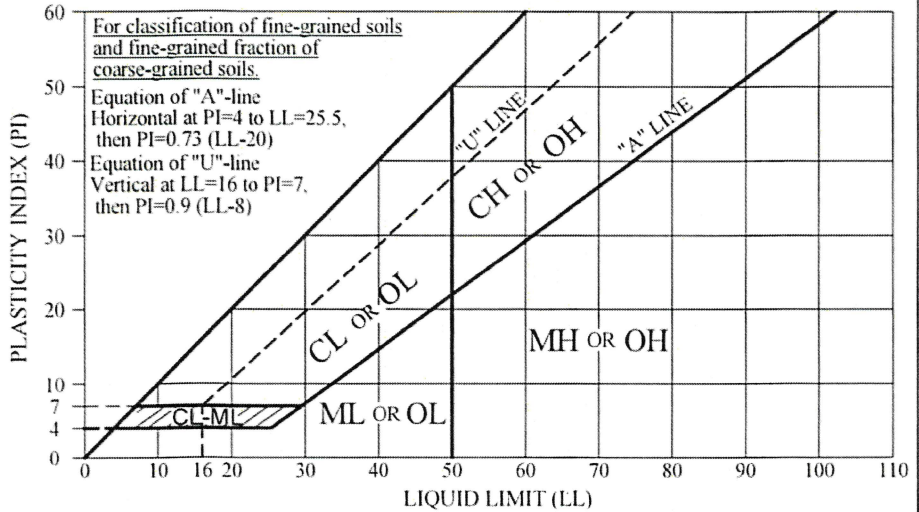
^M If soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ and plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



**CLASSIFICATION OF SOILS FOR
ENGINEERING PURPOSES ASTM D 2487**

PROJ.NO:	GENERAL
DATE:	N/A
REF:	N/A
DWG.NO:	12

**U.S. ARMY CORPS OF ENGINEERS
FROST DESIGN SOIL CLASSIFICATION**

FROST GROUP	KIND OF SOIL	PERCENTAGE FINER THAN 0.02 mm BY WEIGHT	TYPICAL SOIL TYPES UNDER UNIFIED SOIL CLASSIFICATION SYSTEM
NFS*	(a) Gravels Crushed Stone Crushed Rock	0 - 1.5	GW, GP
	(b) Sands	0 - 3	SW, SP
PFS+	(a) Gravels Crushed Stone Crushed Rock	1.5 - 3	GW, GP
	(b) Sands	3 - 10	SW, SP
S1	Gravelly Soils	3 - 6	GW, GP, GW-GM, GP-GM
S2	Sandy Soils	3 - 6	SW, SP, SW-SM, SP-SM
F1	Gravelly Soils	6 - 10	GM, GW-GM, GP-GM
F2	(a) Gravelly Soils	10 - 20	GM, GW-GM, GP-GM
	(b) Sands	6 - 15	SM, SW-SM, SP-SM
F3	(a) Gravelly Soils	Over 20	GM, GC
	(b) Sands, Except Very Fine Silty Sands	Over 15	SM, SC
	(c) Clays, PI>12	-----	CL, CH
F4	(a) All Silts	-----	ML, MH
	(b) Very Fine Silty Sand	Over 15	SM
	(c) Clays PI<12	-----	CL, CL-ML
	(d) Varved Clays and Other Fine-grained Banded Sediments	-----	CL, CL-ML CL and ML CL, ML, and SM; CL, CH and ML; CL, CH, ML and SM

* Non-frost-susceptible

+ Possibly frost-susceptible, but requires laboratory test to determine frost design soils classification.

From: "Seasonal Frost Conditions", June, 1992, U.S. Army Corps of Engineers TM-5-822-5.



FROST DESIGN SOIL CLASSIFICATION

PROJ.NO:	GENERAL
DATE:	N/A
REF:	N/A
DWG.NO:	13

SAMPLE IDENTIFICATION			PARTICLE SIZE ANALYSIS (% FINER) ¹													ATTERBERG LIMITS			MOIST. CONT. (%)	ASTM CLASS ²	FROST CLASS ³					
			STANDARD SIEVE SIZE											(mm)												
TEST BORING	NO.	DEPTH (FT)	3"	2"	1 1/2"	1"	3/4"	1/2"	3/8"	#4	#10	#20	#40	#60	#140	#200	0.02	0.005	0.002	LL	PL	PI				
RM24-TB01	5	7.5- 9.0					100		97	93	84	73	66	60	52	48								30.1	SM*	F3*
RM24-TB01	6	10.0- 11.5														63								31.4	ML*	F4*
RM24-TB01	9	20.0- 21.5																						6.0		
RM24-TB02	3	5.0- 6.5		100	97	87	80		67	59	51	44	39	34	26	22								9.3	GM*	F3*
RM24-TB02	4	7.5- 8.9														30								5.8	SM*	F3*
RM24-TB02	7	20.0- 21.4																						6.1		
RM24-TB03	3	2.5- 4.0																						8.9		
RM24-TB03	4	5.0- 6.5			100	83	75		57	45	33	23	14	9	6	5.0								3.8	GP-GM*	S1*
RM24-TB03	6	10.0- 11.5														6.2								2.8	SP-SM*	F2*

NOTES:

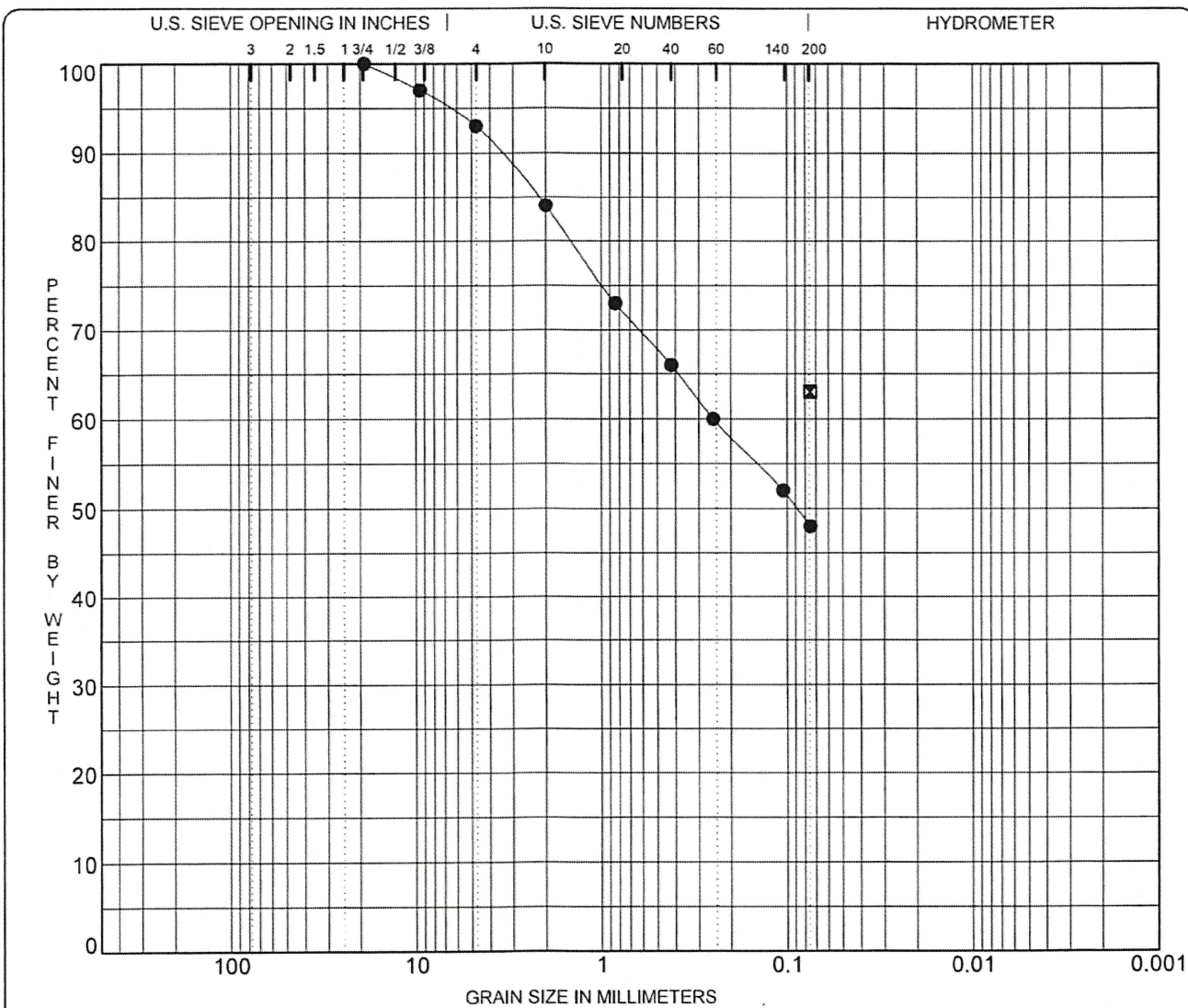
- 1) The maximum particle size of samples is limited by the I.D. of the sampler opening or the width of the auger flights.
 - 2) Soil plasticity was estimated following ASTM D 2488 when the Atterberg limits were not tested.
 - 3) Frost classification was estimated following the USACE Frost Design Classification where hydrometer tests were not performed.
- *Estimated classification



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK

SUMMARY OF LABORATORY SOILS DATA

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	14



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Borehole	Smpl. No	Interval	ASTM Class	FROST Class	MC%	LL	PL	PI	Cc	Cu
● RM24-TB01	5	7.5- 9.0	SM*	F3*	30.1					
☒ RM24-TB01	6	10.0- 11.5	ML*	F4*	31.4					

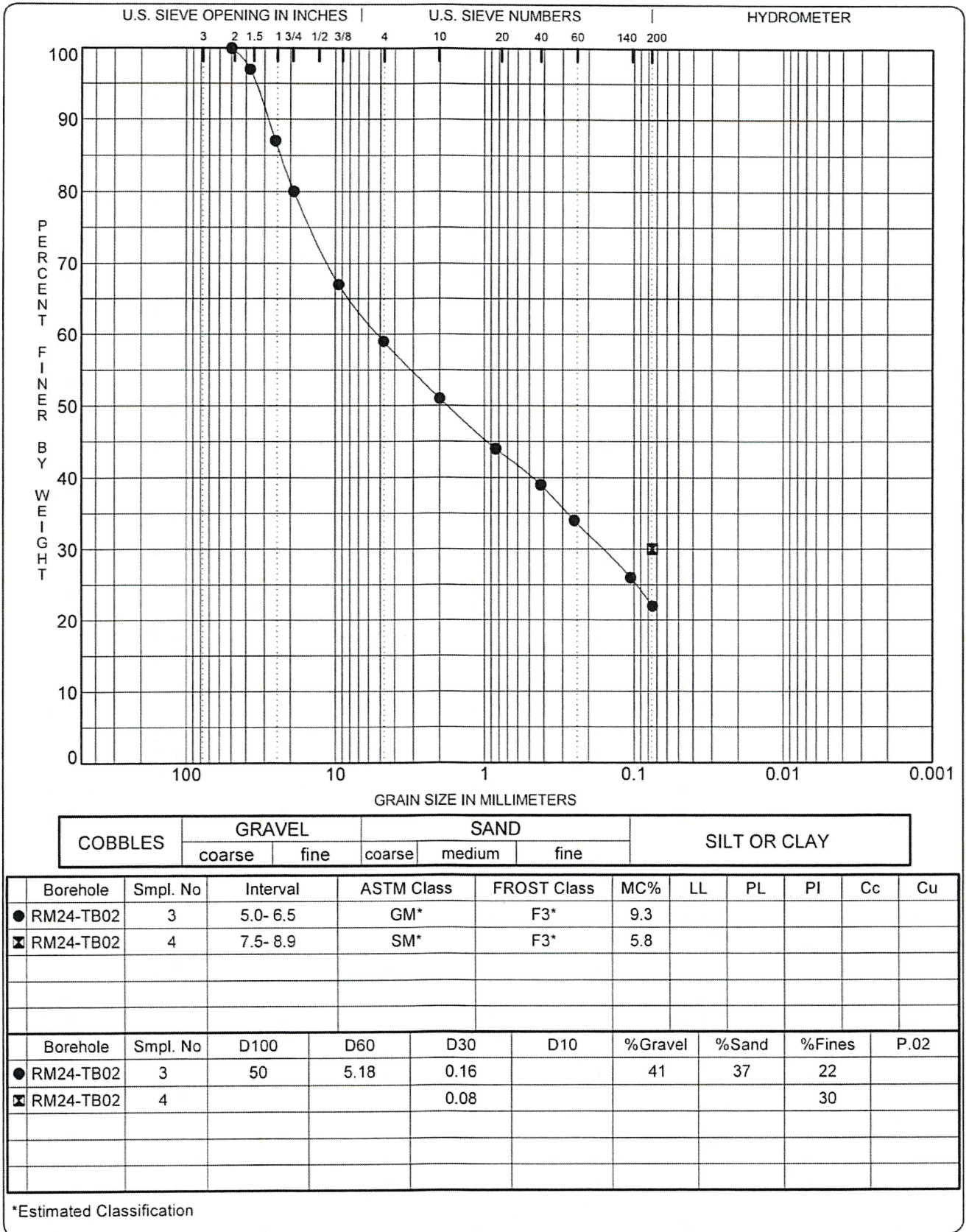
Borehole	Smpl. No	D100	D60	D30	D10	%Gravel	%Sand	%Fines	P.02
● RM24-TB01	5	19	0.25			7	45	48	
☒ RM24-TB01	6							63	

*Estimated Classification



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
SURFACE SEDIMENT GRADATION CURVES

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	15

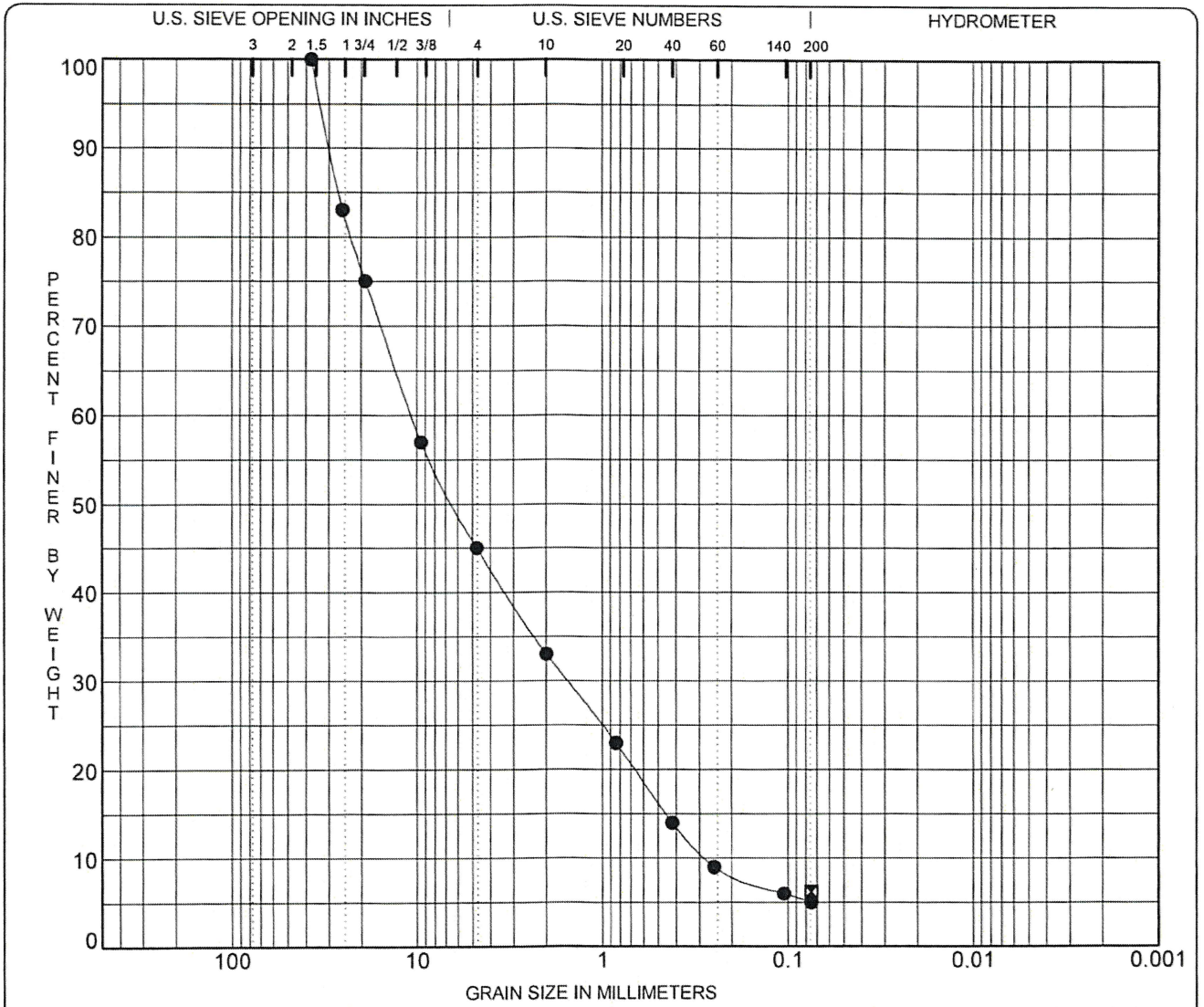


*Estimated Classification



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
SURFACE SEDIMENT GRADATION CURVES

PROJ.NO:	3107.01
DATE:	MARCH 2024
REF:	DRAFT
DWG.NO:	16



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Borehole	Smpl. No	Interval	ASTM Class	FROST Class	MC%	LL	PL	PI	Cc	Cu
● RM24-TB03	4	5.0- 6.5	GP-GM*	S1*	3.8				0.80	38
⊠ RM24-TB03	6	10.0- 11.5	*	F2*	2.8					
Borehole	Smpl. No	D100	D60	D30	D10	%Gravel	%Sand	%Fines	P.02	
● RM24-TB03	4	37.5	10.66	1.54	0.28	55	40	5		
⊠ RM24-TB03	6							6		

*Estimated Classification



SCF WASILLA SUBDIVISIONS (DEONE)
WASILLA, AK
SURFACE SEDIMENT GRADATION CURVES

PROJ.NO: 3107.01
DATE: MARCH 2024
REF: DRAFT
DWG.NO: 17



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and
Public Facilities

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main: 907-269-0520
Fax: 907-269-0521
dot.alaska.gov

April 12, 2024

Fred Wagner, Platting Officer
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

[Sent Electronically]

Re: Plat Review

Dear Mr. Wagner:

The Alaska Department of Transportation and Public Facilities (DOT&PF) Central Region has reviewed the following plats and have the following comments:

- **Deone Lots 2A & 2B (CC), Plat #2003-57, Southcentral Foundation, WA 11 Hale (Palmer-Wasilla Highway and Knik Goose-Bay Road)**
 - No objection to proposed lot division.
 - DOT&PF requires dedicated shared common access for Lot 2A through Lot 2B to Knik Goose-Bay Road be shown on plat.
 - No direct access for Lot 2A to the Palmer-Wasilla Highway will be authorized.
 - Please add as plat note: "No direct access for Lot 2A to Palmer-Wasilla Highway."
 - Subsequent development of Lot 2A and Lot 2B requires continued use of shared common access. No further access to Knik-Goose Bay Road will be authorized.
 - No median break on Knik-Goose Bay Road will be allowed for this driveway. This access will be right in and right out only.
 - Plat actions invalidate existing driveway permits and require permits to be reapplied for. Apply for a new driveway permit for access onto Knik-Goose Bay Road. Driveway permits can be applied for at DOT&PF's online ePermits website: <https://dot.alaska.gov/row/Login.po>. Please contact DOT&PF's ROW division at 1-800-770-5263 to speak with a regional permit officer if you have any questions.
 - Any future driveway relocation will go through the permitting process which may require relocating driveway on Knik-Goose Bay Road further away from the Knik-Goose Bay Road and Palmer-Wasilla Highway intersection due to safety considerations and the functional area of the intersection.
 - No new utility access through Knik-Goose Bay Road or right of way, or the Palmer-Wasilla Highway or right of way will be authorized. Utilities and subsequent utility development required through existing driveway access.
 - Please be advised that this property is in the project area of the Knik-Goose Bay Road: Centaur Ave to Vine Rd Phase I project, which is currently in its construction phase.

"Keep Alaska Moving through service and infrastructure."

Further information about this project can be found at <https://www.knikgoosebay.com/>

- **TA 15 Smith (MG) (Talkeetna Spur Road)**
 - Records indicate that the 50' road easement is currently placed at "the center line to coincide with center of existing access road from Talkeetna Spur Road."
 - Easement vacation/rededication not necessary, easement already located at the desired location.
 - DOT&PF recommends updating MSB GIS maps and/or layers to show easement in correct location.

- **Ken Loyer Farm, PA 12 Loyer (Outer Springer Loop Road)**
 - No objection to the proposed plat.
 - Current access use does not meet permissible driveway standards. Lot 1A access required through common access only.
 - Platting actions invalidate existing driveway permits. Reapply for driveway permits for Lot 2 and the common access at Lot 1A. Driveway permits and Approach Road Review can be applied for at DOT&PF's online ePermits website: <https://dot.alaska.gov/row/Login.po>. Please contact DOT&PF's ROW division at 1-800-770-5263 to speak with a regional permit officer if you have any questions.
 - Subsequent development of either lot will require continued access to Outer Springer Loop Road from existing access points, no additional access will be permitted.
 - All future utilities must connect through existing driveway access points. No new utility connections through Outer Springer Loop Road.

- **Hotchkiss Farm, Plat No. 72-31, PA 12 Hotchkiss (Outer Springer Loop Road)**
 - No objection to revised plat.
 - Please add as plat note: "All new utility connections through existing access or common access easement."
 - Platting actions invalidate existing driveway permits. Reapply for driveway permits for Lot 1. Driveway permits and Approach Road Review can be applied for at DOT&PF's online ePermits website: <https://dot.alaska.gov/row/Login.po>. Please contact DOT&PF's ROW division at 1-800-770-5263 to speak with a regional permit officer if you have any questions.

- **Patricia RSB L1, Plat #2005-120, OC 04 Hale, Southcentral Foundation (Knik Goose-Bay Road MP 9)**
 - No objection to lot division.
 - No direct access to Knik Goose-Bay Road will be granted. Lot 1A and Lot 1B must take access from Wassim Circle and/or Douglas Lane. Subsequent development of Lot 1A and Lot 1B required to take access through Wassim Circle and Douglas Lane.
 - Please add as plat note: "No direct access to Knik Goose-Bay Road for Lot 1A or 1B."
 - Please add as plat note: "No direct access for utility connections through Knik Goose-Bay Road."
 - Utility access required through Wassim Circle and Douglas Lane. No utility access through Knik Goose-Bay Road will be permitted. Subsequent development of Lot 1A and Lot 1B will require continued utility access through Wassim Circle and Douglas Lane.
 - DOT&PF recommends development of internal circulation off Wassim Circle to avoid conflict with existing right of way users.

- DOT&PF recommends lot development consider the Mat-Su Borough's [Official Streets and Highway Plan](#)'s (OSHP) future intersection at Knik Goose-Bay Road and Douglas Lane. View the OSHP by selecting the "Official Streets and Highways Plan" and "OSHP Primary Intersection" layers in the [MSB Planning and Land Use Viewer](#)'s Layer List.
- Recommend dedicating Wassim Circle and Douglas Lane on Lot 1A and Lot 1B.

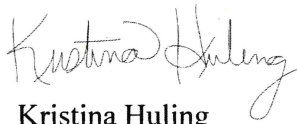
All properties accessing DOT&PF roads must apply to Right of Way for a driveway permit and/or approach road review, subject to provisions listed in 17 AAC 10.020. Any previously issued access permits become invalid once the property undergoes a platting action and must be reissued.

We recommend the petitioner verify all section line easements and DOT&PF road rights-of-way adjacent to their property. For assistance, the petitioner may contact the Engineering group within the Right of Way section in DOT&PF at (907) 269-0700. The petitioner is liable to remove any improvements within the easements and rights-of-way that impede the operation and maintenance of those facilities even if they are not shown on the plat, so it is in the petitioner's best interest to identify the exact locations and widths of any such easements or rights-of-way before they improve the property.

If any section line easements or road rights-of-way exist within the bounds of their plat, we recommend the petitioner dedicate them. If there is an existing right-of-way or easement, the petitioner is unable to develop that portion of the property yet continues to pay property taxes on it; dedicating will remove that cost to the petitioner.

If there are any questions regarding these comments please feel free to contact me at (907) 269-0509 or kristina.huling@alaska.gov.

Sincerely,



Kristina Huling
Mat-Su Area Planner, DOT&PF

cc: Sean Baski, Highway Design Chief, DOT&PF
Matt Walsh, Property Management Supervisor, Right of Way, DOT&PF
Devki Rearden, Engineering Associate, DOT&PF
Morris Beckwith, Right of Way, DOT&PF
Brad Sworts, Pre-Design & Engineering Div. Manager, MSB
Anna Bosin, Traffic & Safety Engineer, DOT&PF

Jesse Curlin

From: Daniel Dahms
Sent: Tuesday, April 9, 2024 2:59 PM
To: Jesse Curlin
Cc: Brad Sworts; Jamie Taylor; Tammy Simmons
Subject: RE: RFC Deone Lots 2A & 2B (CC)

Chris,

Change the legal description on the plat to include, "excepting there from WD 2021-036930-0".

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 9:55 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; David Post <david.post@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; eschaal@ci.wasilla.ak.us; Planning <planning@cityofwasilla.gov>; publicworks@ci.wasilla.ak.us; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; robyundtmsb@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Deone Lots 2A & 2B (CC)

Hello,

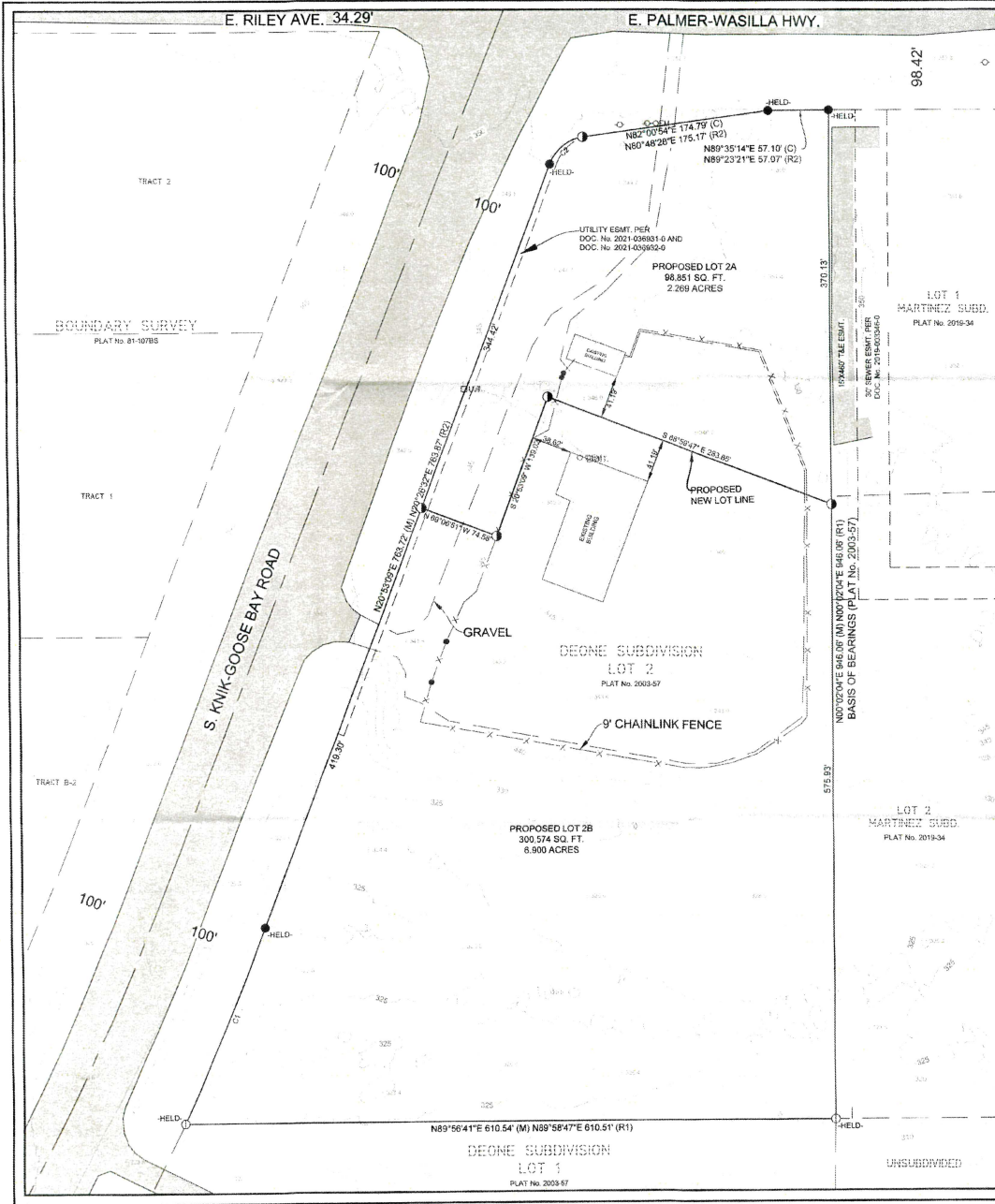
The following link is a request for comments on the proposed Deone Lots 2A & 2B.

Please ensure all comments have been submitted by April 16, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

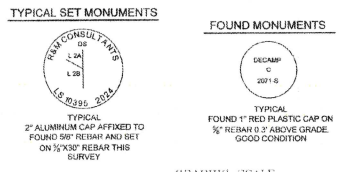
 [Deone Lots 2A & 2B](#)

Sincerely,

Jesse C. "Chris" Curlin
Platting Technician
Matanuska-Susitna Borough



- NOTES**
1. THERE MAY BE FEDERAL, STATE, AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
 2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONTRACTED, AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS, AND RECOMMENDATIONS OF THE STATE OF ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
 3. A BLANKET RIGHT OF WAY EASEMENT IN FAVOR OF MATANUSKA ELECTRIC ASSOCIATION INC. EXISTS PER DOCUMENT NO. 2006-03180-0, PALMER RECORDING DISTRICT, ALASKA.



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1 (C)	198.54'	2965.00'	3°50'33"	N 22° 57' 59" E	198.90'
C1 (P)	198.79'	2965.00'	3°50'29"	N 22° 57' 59" E	198.79'
C2 (C)	42.14'	40.00'	60°21'40"	S 61° 03' 59" W	40.32'
C2 (P)	42.14'	40.00'			

- LEGEND**
- FOUND RED PLASTIC CAP AS DESCRIBED
 - FOUND 5/8" REBAR AFFIXED TYPICAL 2" ALCAP
 - FOUND 5/8" DIA. REBAR AND AFFIXED A TYPICAL ALUMINUM CAP THIS SURVEY
 - SUBDIVISION BOUNDARY
 - LOT LINE WITH THIS SUBDIVISION
 - ADJACENT PROPERTY LINE NOT SURVEYED
 - EASEMENT LINE
 - (M) MEASURED DIMENSION THIS SURVEY
 - (R1) RECORD DIMENSIONS PER PLAT NO. 2003-57, P.R.D.
 - (P2) RECORD DIMENSIONS PER DOC. NO. 2021-036930-0, P.R.D.
 - BOLLARD/POST
 - COMMUNICATION PEDESTAL
 - UG COMMUNICATION MARKER
 - ELECTRIC TRANSFORMER
 - ELECTRIC METER
 - ELECTRIC POWER POLE
 - GUY WIRE
 - NATURAL GAS METER
 - SEPTIC CLEANOUT
 - SEPTIC VENT
 - CONCRETE
 - ASPHALT
 - CULVERT
 - OVERHEAD ELECTRIC LINE
 - EDGE OF GRAVEL

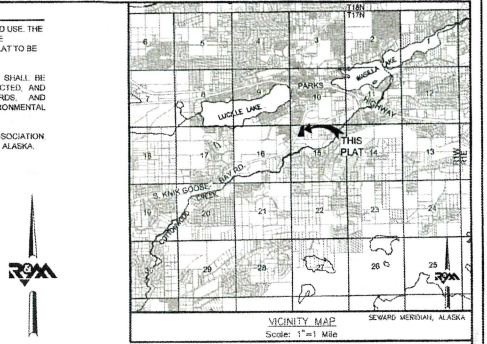
SURVEYOR'S CERTIFICATE FOR CONTOURS AND IMPROVEMENTS

THE CONTOURS SHOWN HEREON WERE OBTAINED FROM AVAILABLE USB LIDAR DATA GATHERED IN 2019, AND ARE ONE-FOOT CONTOURS. THE IMPROVEMENTS SHOWN HEREON WERE SURVEYED ON OCTOBER 27, 2023.

SURVEYOR'S CERTIFICATE

I, DAVID C. HALE, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT OF NEW HOPE ESTATES SUBDIVISION REPRESENTS A SURVEY MADE BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DAVID C. HALE, L.S. 10395 DATE



CERTIFICATE OF OWNERSHIP

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION BY OUR OWN FREE CONSENT.

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

PLANNING AND LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY: _____ DATED: _____

AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR DATED _____

ATTEST: PLATTING CLERK _____

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____, AGAINST THE PROPERTY INCLUDED IN THE SUBDIVISION HEREON, HAVE BEEN PAID.

BOROUGH TAX COLLECTION OFFICIAL DATED _____



RECEIVED
MAR 14 2024
PLATTING

Agenda Copy

PRELIMINARY PLAT OF
DEONE SUBDIVISION
LOTS 2A AND 2B

2.169 ACRE SUBDIVISION OF LOT 2,
DEONE SUBDIVISION (PLAT NO. 2003-57)

LOCATED WITHIN THE NW 1/4, SECTION 15, TOWNSHIP 17 NORTH,
RANGE 1 WEST, SEWARD MERIDIAN, ALASKA

PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA

9101 Vanguard Drive, Anchorage, Alaska, 99507
PH (907) 522-1707 FAX (907) 522-3403
www.mcsosart.com

AECC 111

BY: DAVID C. HALE	NT	SCALE: 1" = 50'	NSR FILE NO.
CHECKED: DCH	PROJECT: 3107.01	DATE: 02/15/2024	SHEET: 1 OF 1

Jesse Curlin

From: Permit Center
Sent: Wednesday, April 3, 2024 10:23 AM
To: Jesse Curlin
Subject: RE: RFC Deone Lots 2A & 2B (CC)

Good morning,

No comment from permit center.

Very Respectfully,

Jamie R Jokhy
Administrative Assistant
Development Services
(907) 861-7842
jamie.jokhy@matsugov.us



From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 9:55 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; David Post <david.post@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; eschaal@ci.wasilla.ak.us; Planning <planning@cityofwasilla.gov>; publicworks@ci.wasilla.ak.us; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; robyundtmsb@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Deone Lots 2A & 2B (CC)

Hello,

The following link is a request for comments on the proposed Deone Lots 2A & 2B.

Jesse Curlin

From: Robert Walden <rwalden@cityofwasilla.gov>
Sent: Friday, April 5, 2024 11:21 AM
To: Cindy Wellman; Jesse Curlin
Cc: Richard Antonio; Crystal Nygard; Erich E. Schaal
Subject: RE: RFC Deone Lots 2A & 2B (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Access issue with the State will be very interesting at a corner of a major collector on the new corner lot.

Robert L Walden, PE
907-373-9019

From: Cindy Wellman <cwellman@cityofwasilla.gov>
Sent: Friday, April 5, 2024 9:45 AM
To: Jesse Curlin <Jesse.Curlin@matsugov.us>
Cc: Robert Walden <rwalden@cityofwasilla.gov>; Richard Antonio <rantonio@cityofwasilla.gov>; Crystal Nygard <cnygard@cityofwasilla.gov>; Erich E. Schaal <eschaal@cityofwasilla.gov>
Subject: RE: RFC Deone Lots 2A & 2B (CC)

Hi Chris,

It was great to speak with you! I will forward this email to the appropriate people here at the City of Wasilla, and along with them will make any comments regarding these two lots. I understand that your office will send future comment requests regarding land that is within the City boundaries, as well as land that touches City boundaries.

As I mentioned, here is contact information so that the Borough staff can have updated City contact information:

For notices, can you send them to:

City of Wasilla
Planning Department planning@cityofwasilla.gov 907-373-9020
Public Works Department publicworks@cityofwasilla.gov 907-373-9010
Cindy Wellman: Planning Clerk: cwellman@cityofwasilla.gov 907-373-9022

Not for notices, but direct contact information (not for public distribution just Borough staff):

Crystal Nygard: Acting City Planner: cnygard@cityofwasilla.gov 907-373-9057
Cindy Wellman: Planning Clerk: cwellman@cityofwasilla.gov, 907-373-9022
Erich Schaal: Public Works Director: eschaal@cityofwasilla.gov 907-373-9019
Robert Walden: Public Works Deputy Director: rwalden@cityofwasilla.gov 907-373-9018
Rick Antonio: Project Manager Public Works: rantonio@cityofwasilla.gov 907-315-7110

Thank you,

Cindy Wellman



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

April 16, 2024

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed preliminary plat DEONE SUBDIVISION LOTS 2A and 2B (MSB Case # 2024-052) and advises that there is an existing natural gas service line that crosses proposed Lot 2A to serve proposed Lot 2B. Attached is an approximate as-built for your reference. ENSTAR objects to this plat unless one of the following scenarios is met:

1. Add a ten foot (10 FT) wide natural gas easement, centered on the existing natural gas service line on proposed Lot 2A.
2. Owner signs an ENSTAR Natural Gas Easement document for a ten foot (10 FT) wide natural gas easement, centered on the service line at this location.

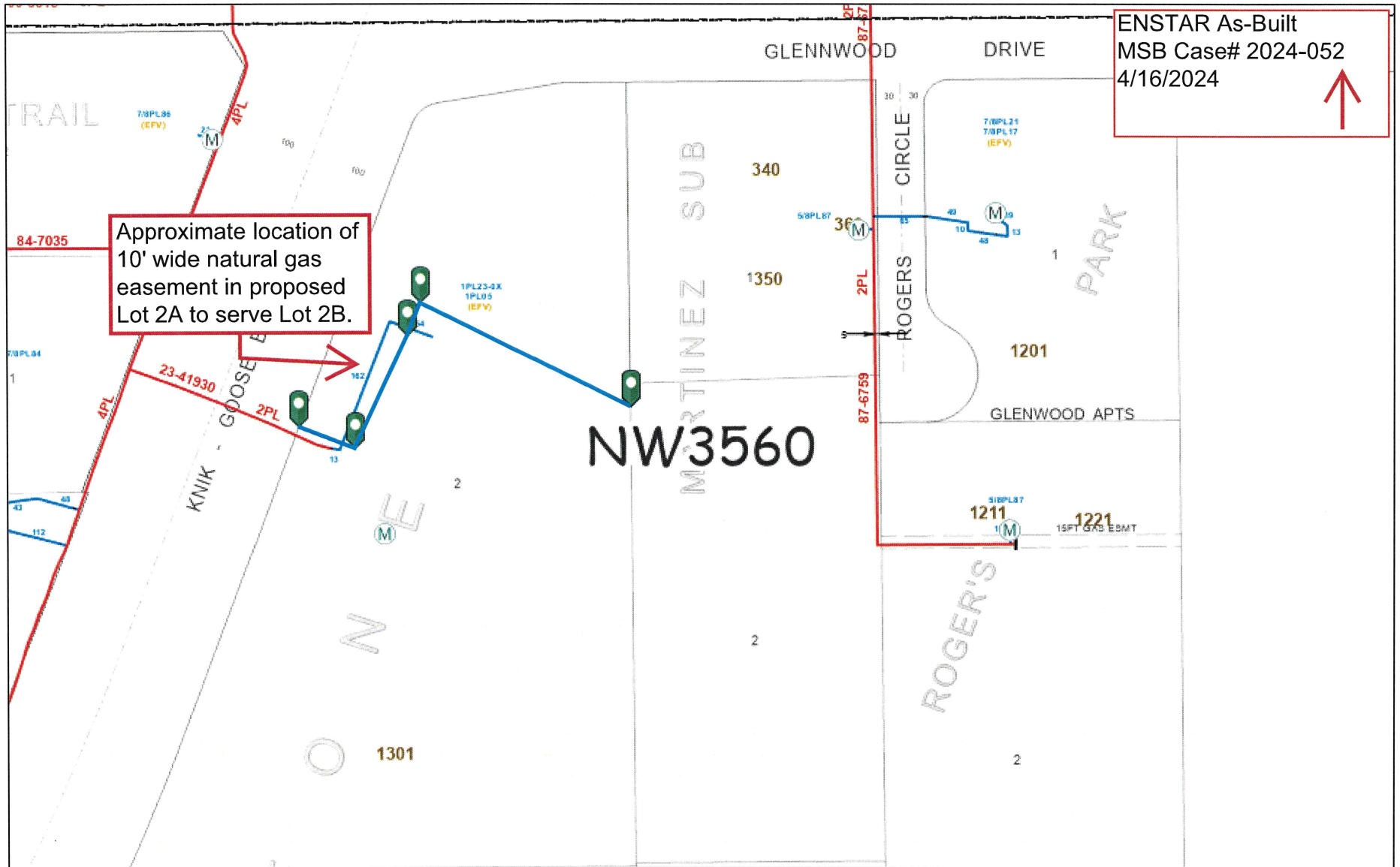
If you have any questions, please feel free to contact me at (907) 714-7521 or by email at skylar.furlong@enstarnaturalgas.com.

Sincerely,

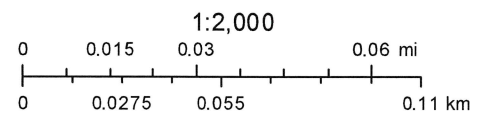
A handwritten signature in blue ink that reads "Skylar Furlong".

Skylar Furlong
Environmental Permitting & Compliance Specialist
ENSTAR Natural Gas Company, LLC

ArcGIS Web Map

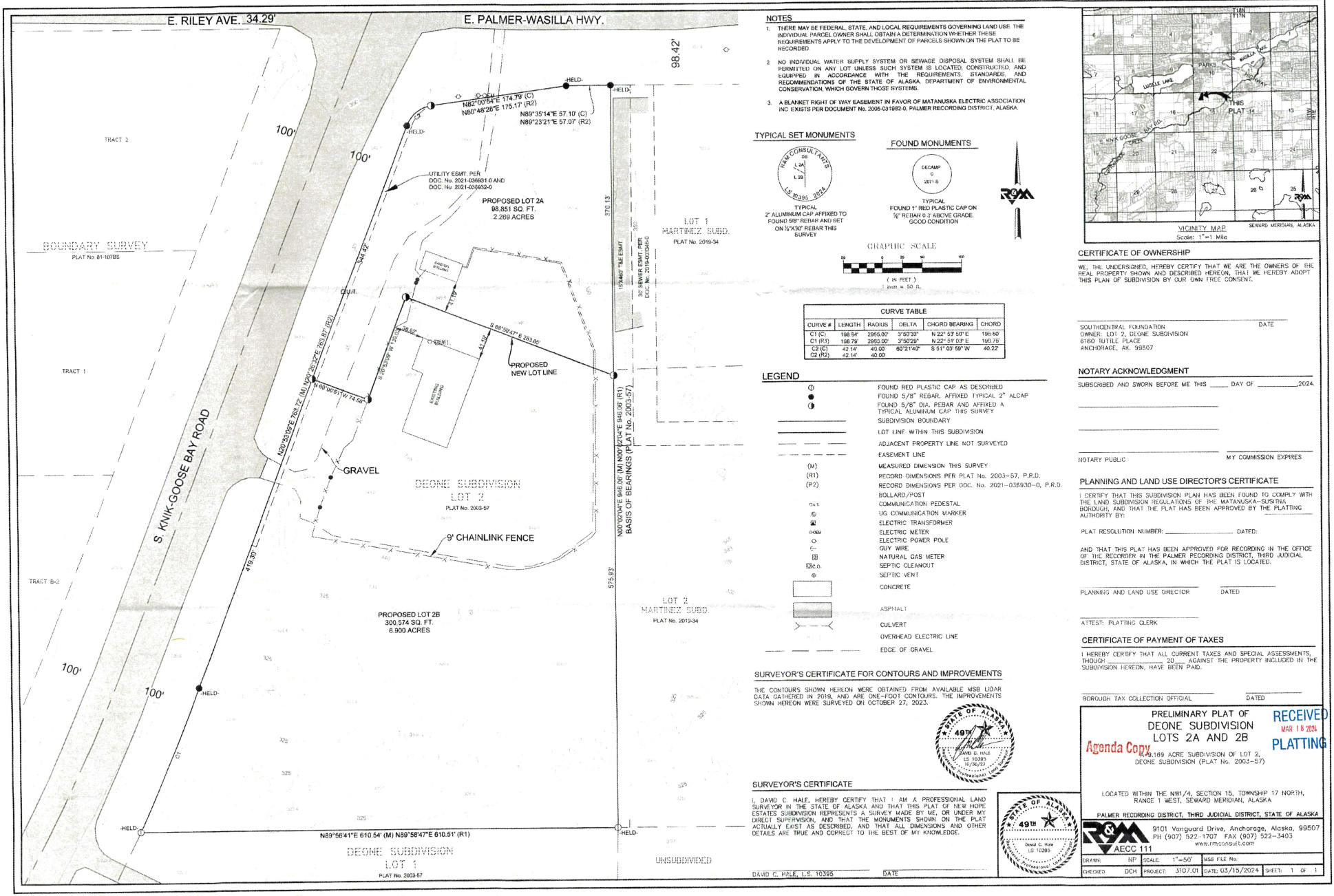


4/16/2024, 3:57:58 PM



ENSTAR Natural Gas Company
MOA, MSB, KP, US Government, ENSTAR Natural Gas Company

ArcGIS Web AppBuilder
ENSTAR Natural Gas Company



- NOTES**
1. THERE MAY BE FEDERAL, STATE, AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
 2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS, AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
 3. A BLANKET RIGHT OF WAY EASEMENT IN FAVOR OF MATANUSKA ELECTRIC ASSOCIATION INC. EXISTS PER DOCUMENT NO. 2008-0180-D, PALMER RECORDING DISTRICT, ALASKA.

TYPICAL SET MONUMENTS

FOUND MONUMENTS

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
CT (C)	188.5F	2965.07'	3°50'33"	N 22° 59' 59" E	188.90'
CT (R1)	188.72'	2955.07'	3°50'29"	N 22° 59' 59" E	189.72'
C2 (C)	42.14'	40.00'	60°21'45"	S 51° 03' 59" W	40.22'
C2 (R2)	42.14'	40.00'	60°21'45"	S 51° 03' 59" W	40.22'

- LEGEND**
- FOUND RED PLASTIC CAP AS DESCRIBED
 - FOUND 5/8" REBAR, AFFIXED TYPICAL 2" ALCAP
 - FOUND 5/8" DIA. REBAR AND AFFIXED A TYPICAL ALUMINUM CAP THIS SURVEY SUBDIVISION BOUNDARY
 - LOT LINE WITHIN THIS SUBDIVISION
 - ADJACENT PROPERTY LINE NOT SURVEYED
 - EASEMENT LINE
 - (M) MEASURED DIMENSION THIS SURVEY
 - (R1) RECORDED DIMENSIONS PER PLAT No. 2003-57, P.R.D.
 - (R2) RECORDED DIMENSIONS PER DOC. No. 2021-038530-0, P.R.D.
 - BOLLARD/POST
 - COMMUNICATION PEDESTAL
 - UG COMMUNICATION MARKER
 - ELECTRIC TRANSFORMER
 - ELECTRIC METER
 - ELECTRIC POWER POLE
 - GUY WIRE
 - NATURAL GAS METER
 - SEPTIC CLEANOUT
 - SEPTIC VENT
 - CONCRETE
 - ASPHALT
 - CULVERT
 - OVERHEAD ELECTRIC LINE
 - EDGE OF GRAVEL

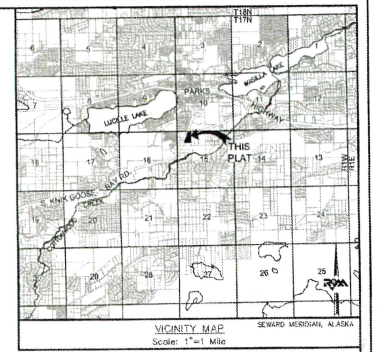
SURVEYOR'S CERTIFICATE FOR CONTOURS AND IMPROVEMENTS

THE CONTOURS SHOWN HEREON WERE OBTAINED FROM AVAILABLE MSB LIDAR DATA GATHERED IN 2019, AND ARE ONE-FOOT CONTOURS. THE IMPROVEMENTS SHOWN HEREON WERE SURVEYED ON OCTOBER 27, 2023.

SURVEYOR'S CERTIFICATE

I, DAVID C. HALE, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT OF NEW HOPE ESTATES SUBDIVISION REPRESENTS A SURVEY MADE BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DAVID C. HALE, L.S. 10365 DATE



CERTIFICATE OF OWNERSHIP

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION BY OUR OWN FREE CONSENT.

SOUTHCENTRAL FOUNDATION DATE
OWNER: LOT 2, DEONE SUBDIVISION
6160 TUTTLE PLACE
ANCHORAGE, AK 99507

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC BY COMMISSION EXPIRES

PLANNING AND LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY EYE.

PLAT RESOLUTION NUMBER: _____ DATED: _____

AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR DATED

ATTEST: PLATTING CLERK

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____, 20____ AGAINST THE PROPERTY INCLUDED IN THE SUBDIVISION HEREON, HAVE BEEN PAID.

BOROUGH TAX COLLECTION OFFICIAL DATED

RECEIVED
MAR 18 2024
PLATTING
Agenda Copy

PRELIMINARY PLAT OF
DEONE SUBDIVISION
LOTS 2A AND 2B
0.169 ACRE SUBDIVISION OF LOT 2,
DEONE SUBDIVISION (PLAT No. 2003-57)

LOCATED WITHIN THE 1/4, SECTION 15, TOWNSHIP 17 NORTH,
RANGE 1 WEST, SEWARD MERIDIAN, ALASKA

PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA

9101 Vanguard Drive, Anchorage, Alaska, 99507
PH (907) 522-1707 FAX (907) 522-3403
www.rmsconsult.com

DRAWN: JHF SCALE: 1"=50' MSB FILE NO:
CHECKED: DCH PROJECT: 3107-01 DATE: 03/15/2024 SHEET: 1 OF 1

EXHIBIT G-3

Jesse Curlin

From: OSP Design Group <ospdesign@gci.com>
Sent: Friday, April 12, 2024 8:51 AM
To: Jesse Curlin
Cc: OSP Design Group
Subject: RE: RFC Deone Lots 2A & 2B (CC)
Attachments: Agenda Plat STAMPED.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Jesse,

GCI has no comments for this plat.

Thank you,

JOSHUA SWANSON

GCI | Engineer II, OSP Design

w: www.gci.com

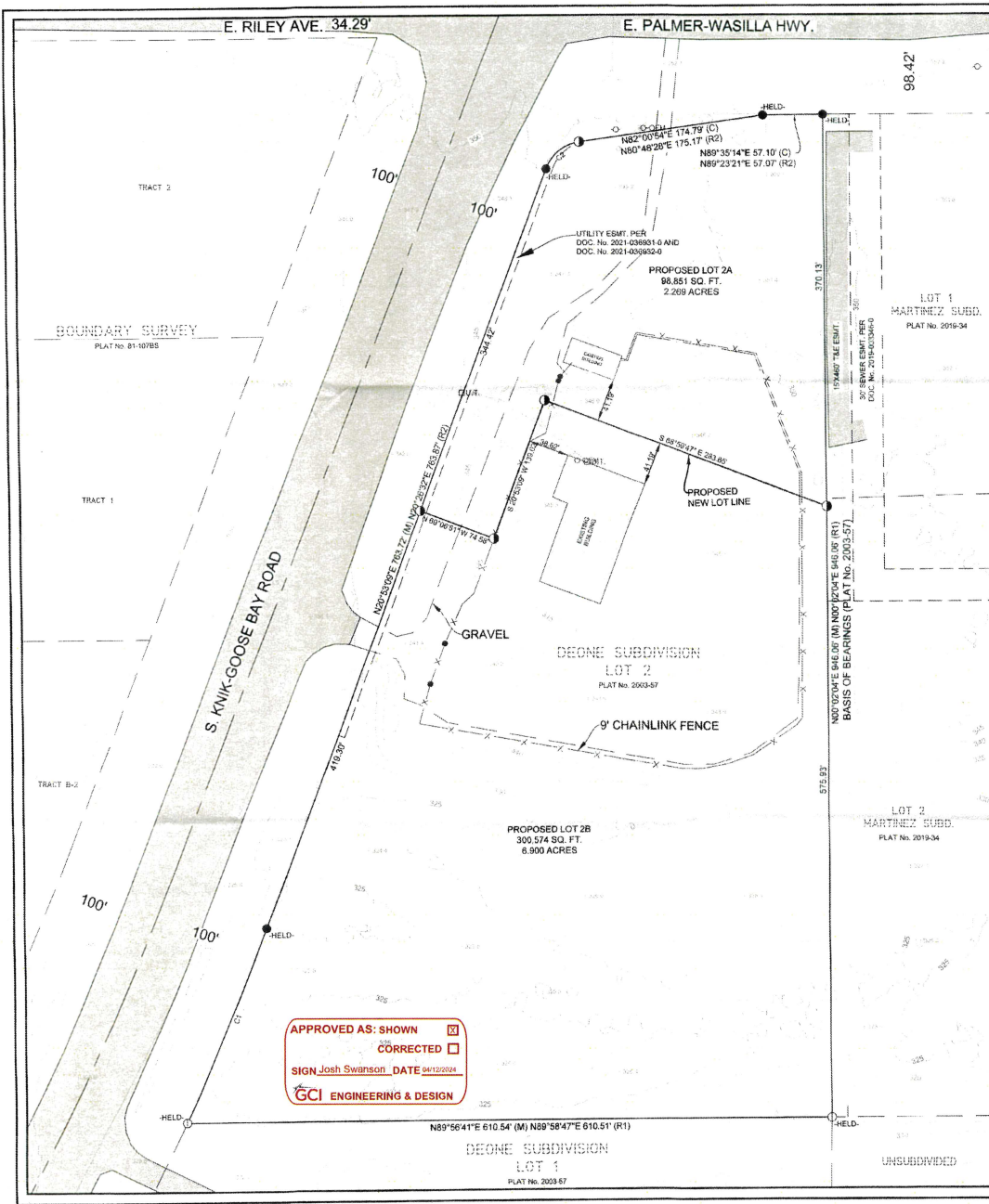
From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 9:55 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; David Post <david.post@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; eschaal@ci.wasilla.ak.us; Planning <planning@cityofwasilla.gov>; publicworks@ci.wasilla.ak.us; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; robyundtmsb@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Deone Lots 2A & 2B (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

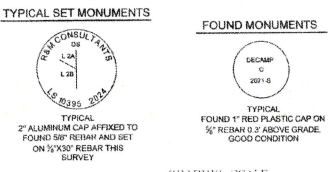
Hello,

The following link is a request for comments on the proposed Deone Lots 2A & 2B.

Please ensure all comments have been submitted by April 16, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.



- NOTES**
1. THERE MAY BE FEDERAL, STATE, AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
 2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS, AND RECOMMENDATIONS OF THE STATE OF ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION WHICH GOVERN THOSE SYSTEMS.
 3. A BLANKET RIGHT OF WAY EASEMENT IN FAVOR OF MATANUSKA ELECTRIC ASSOCIATION INC. EXISTS PER DOCUMENT No. 2006-031982-0, PALMER RECORDING DISTRICT, ALASKA.



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1 (C)	198.54'	2995.00'	3°50'33"	N 22° 57' 59" E	198.90'
C1 (R1)	198.79'	2995.00'	3°50'29"	N 22° 57' 59" E	198.75'
C2 (C)	42.14'	40.00'	60°21'49"	S 51° 03' 58" W	40.22'
C2 (R2)	42.14'	40.00'			

- LEGEND**
- FOUND RED PLASTIC CAP AS DESCRIBED
 - FOUND 5/8" REBAR, AFFIXED TYPICAL 2" ALCAP
 - FOUND 5/8" DIA. REBAR AND AFFIXED A TYPICAL ALUMINUM CAP THIS SURVEY
 - SUBDIVISION BOUNDARY
 - LOT LINE WITHIN THIS SUBDIVISION
 - ADJACENT PROPERTY LINE NOT SURVEYED
 - EASEMENT LINE
 - (M) MEASURED DIMENSION THIS SURVEY
 - (R1) RECORD DIMENSIONS PER PLAT No. 2003-57, P.R.D.
 - (R2) RECORD DIMENSIONS PER DOC. No. 2021-038930-0, P.R.D.
 - BOLLARD/POST
 - COMMUNICATION PEDESTAL
 - UG COMMUNICATION MARKER
 - ELECTRIC TRANSFORMER
 - ELECTRIC METER
 - ELECTRIC POWER POLE
 - GUY WIRE
 - NATURAL GAS METER
 - SEPTIC CLEANOUT
 - SEPTIC VENT
 - CONCRETE
 - ASPHALT
 - CULVERT
 - OVERHEAD ELECTRIC LINE
 - EDGE OF GRAVEL

SURVEYOR'S CERTIFICATE FOR CONTOURS AND IMPROVEMENTS

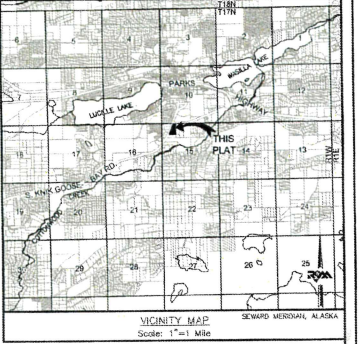
THE CONTOURS SHOWN HEREON WERE OBTAINED FROM AVAILABLE MSB LIDAR DATA GATHERED IN 2019, AND ARE ONE-FOOT CONTOURS. THE IMPROVEMENTS SHOWN HEREON WERE SURVEYED ON OCTOBER 23, 2023.



SURVEYOR'S CERTIFICATE

I, DAVID C. HALE, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT OF NEW HOPE ESTATES SUBDIVISION REPRESENTS A SURVEY MADE BY ME, OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DAVID C. HALE, L.S. 10395 DATE



CERTIFICATE OF OWNERSHIP

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON, THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION BY OUR OWN FREE CONSENT.

SOUTHCENTRAL FOUNDATION DATE
OWNER: LOT 2, DEONE SUBDIVISION
6160 TUTTLE PLACE
ANCHORAGE, AK, 99507

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC MY COMMISSION EXPIRES

PLANNING AND LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY:

PLAT RESOLUTION NUMBER: _____ DATED: _____

AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR DATED

ATTEST: PLATTING CLERK

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____, 20____, AGAINST THE PROPERTY INCLUDED IN THE SUBDIVISION HEREON, HAVE BEEN PAID.

BOROUGH TAX COLLECTION OFFICIAL DATED

PRELIMINARY PLAT OF DEONE SUBDIVISION LOTS 2A AND 2B

Agenda Copy RECEIVED MAR 19 2024 PLATTING

0.9169 ACRE SUBDIVISION OF LOT 2, DEONE SUBDIVISION (PLAT No. 2003-57)

LOCATED WITHIN THE NW1/4, SECTION 15, TOWNSHIP 17 NORTH, RANGE 1 WEST, SEWARD MERIDIAN, ALASKA

PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA

9101 Vanguard Drive, Anchorage, Alaska, 99507
PH (907) 522-1707 FAX (907) 522-3403
www.rmcsngut.com

AECC 111

DRAWN: MP SCALE: 1"=50' SHEET FILE NO.
CHECKED: DCH PROJECT: 3107-01 DATE: 03/15/2024 SHEET: 1 OF 1

EXHIBIT G-5

E

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
MAY 1, 2024

ABBREVIATED PLAT: SUN VALLEY FERRIS
LEGAL DESCRIPTION: SEC 35, T19N, R01E S.M., AK
PETITIONERS: LINDA FERRIS
SURVEYOR/ENGINEER: HANSON LAND SOLUTIONS/BILL KLEBESADEL
ACRES: 4.0 +/- PARCELS: 2
REVIEWED BY: CHRIS CURLIN CASE #: 2024-54

REQUEST:

The request is to create two lots from Lot 13B, Sun Valley Lot 13A and 13B, Block 4 (Plat # 99-47) to be known as **Sun Valley Ferris**, containing 4.0 acres +/- . The property is located directly east of N. Doro Drive, south E. Blue Mountain Lane, and west of N. Sun Valley Drive; within the S ¼ Section 35, Township 19 North, Range 01 East, Seward Meridian, Alaska.

EXHIBITS:

Vicinity Map and Aerial Photos **Exhibit A – 4 pgs**
Soils Report **Exhibit B – 4 pgs**

COMMENTS:

MSB Pre-design and Engineering **Exhibit C – 1 pg**
MSB Permit Center **Exhibit D – 1 pg**
Utilities **Exhibit E – 3 pgs**

DISCUSSION: The proposed subdivision is creating two lots. Lot 13B-1 will be 1.88 acres and Lot 13B-2 will be 2.12 acres. Both proposed lots will take access from N. Doro Drive, a Borough owned and maintained road.

Soils Report: A geotechnical report was submitted (**Exhibit B**), pursuant to MSB 43.20.281(A). Bill Klebesadel, P.E., notes that one test pit was excavated for the proposed lots. Test pit location was selected as a representative of the conditions to be expected throughout the proposed subdivision. The test holes were dug to a depth of 12', no ground water was encountered. The soils consisted of organic silts and organic silty clays of low plasticity overlying poorly graded sands, gravelly sands, and little/no fines. The engineer has determined that each of the two proposed lots will have at least 10,000 square feet of contiguous usable building area and at least 10,000 square feet of contiguous usable septic area as required by MSB 43.20.281 Area.

COMMENTS:

DPW Pre-design and Engineering (**Exhibit C**) PD&E has no comments or objections.

MSB Permit Center (**Exhibit D**) This property will require a driveway permit. No other comments from Permitting.

Utilities: (Exhibit E) ENSTAR has no comments or recommendations. GCI has no comments or objections. MEA and MTA did not respond.

There were no objections received from Borough departments, outside agencies or the public at the time of this staff report.

CONCLUSION

The plat of Sun Valley Ferris is consistent with AS 29.40.070 *Platting Regulations* and MSB 43.15.025 *Abbreviated Plats*. A soils report was submitted, legal and physical access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

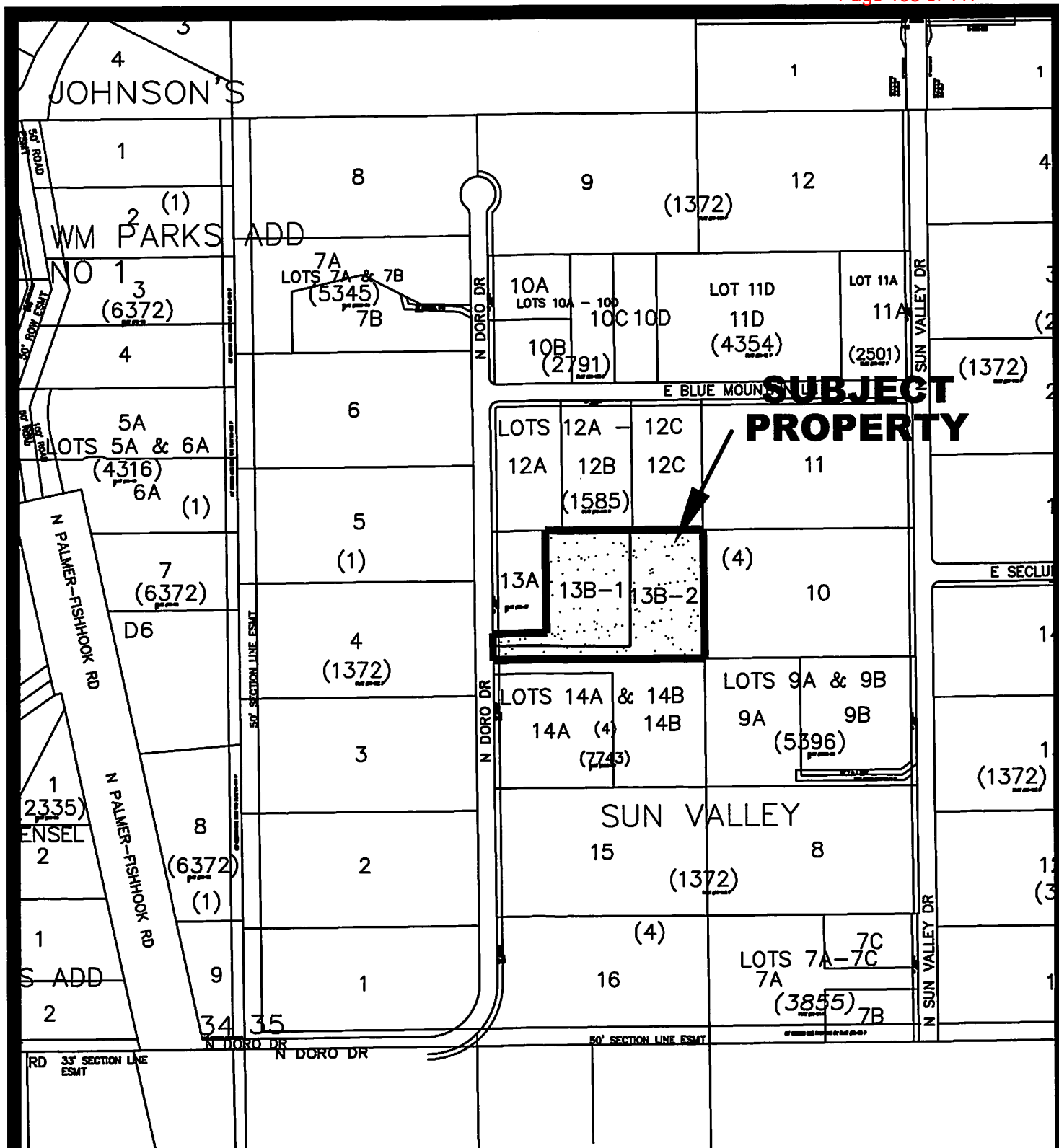
FINDINGS of FACT:

1. The abbreviated plat of Sun Valley Ferris is consistent with AS 29.40.070 *Platting Regulations*, and MSB 43.15.025 *Abbreviated Plats*.
2. A soils report was submitted pursuant to MSB 43.20.281(A). All lots have the required usable area.
3. All lots will have the required frontage pursuant to MSB 43.20.320.
4. There were no objections from any borough departments, outside agencies, utilities, or the public.
5. At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; Community Council #10 Fishhook; Road Service Area #16 South Colony; MSB Emergency Services, Community Development, or Assessments; MTA or MEA.

RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of the abbreviated plat of Sun Valley Ferris, contingent on the following recommendations:

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Provide platting staff copies of driveway permits/applications for all existing driveways.
4. Pay postage and advertising fees.
5. Show all easements of record on final plat.
6. Submit recording fees, payable to Department of Natural Resources (DNR).
7. Submit final plat in full compliance with Title 43.

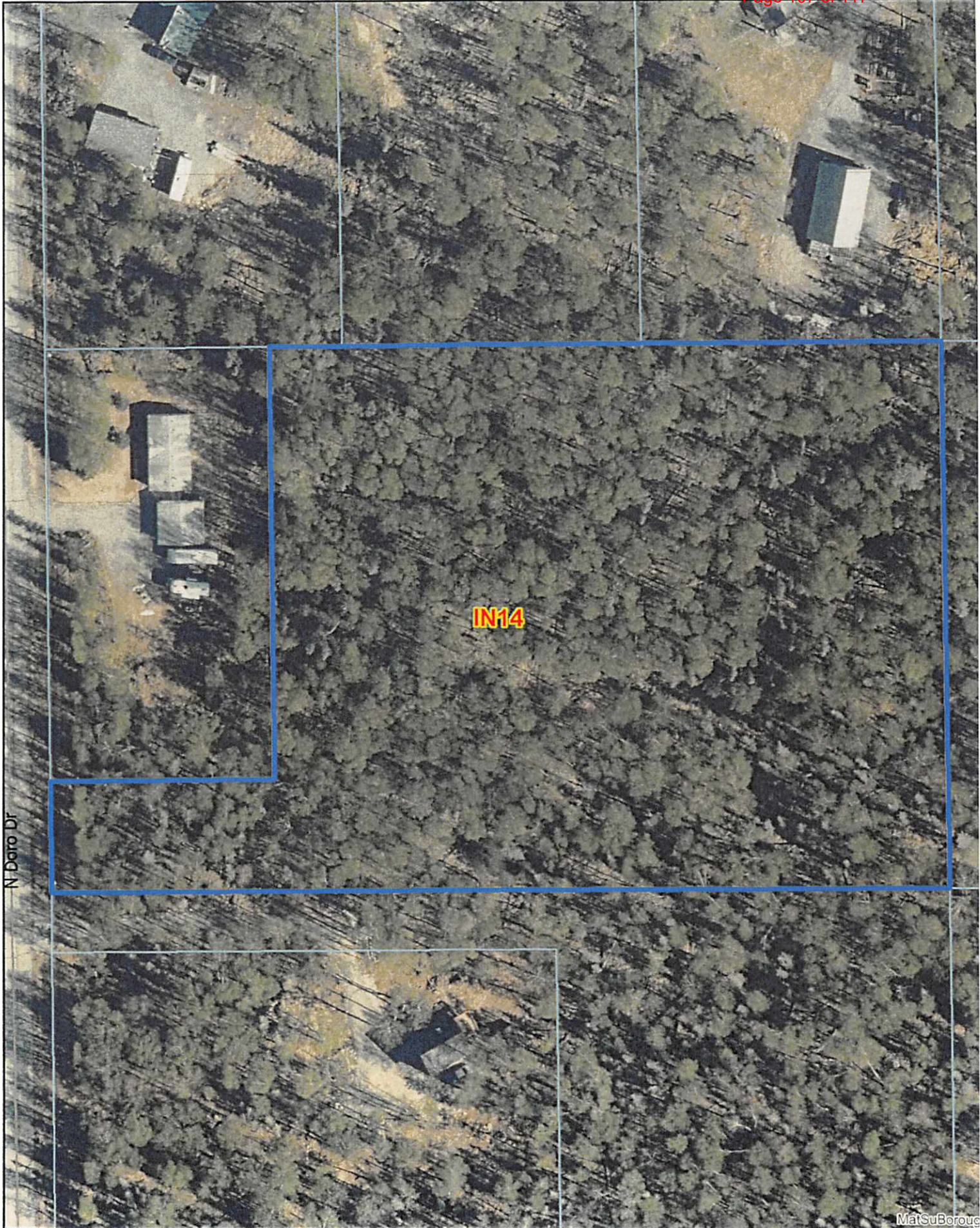


VICINITY MAP
FOR PROPOSED SUN VALLEY FERRIS
SUBDIVISION
LOCATED WITHIN
SECTION 35, T19N, R01E, SEWARD MERIDIAN
ALASKA
IN14 MAP

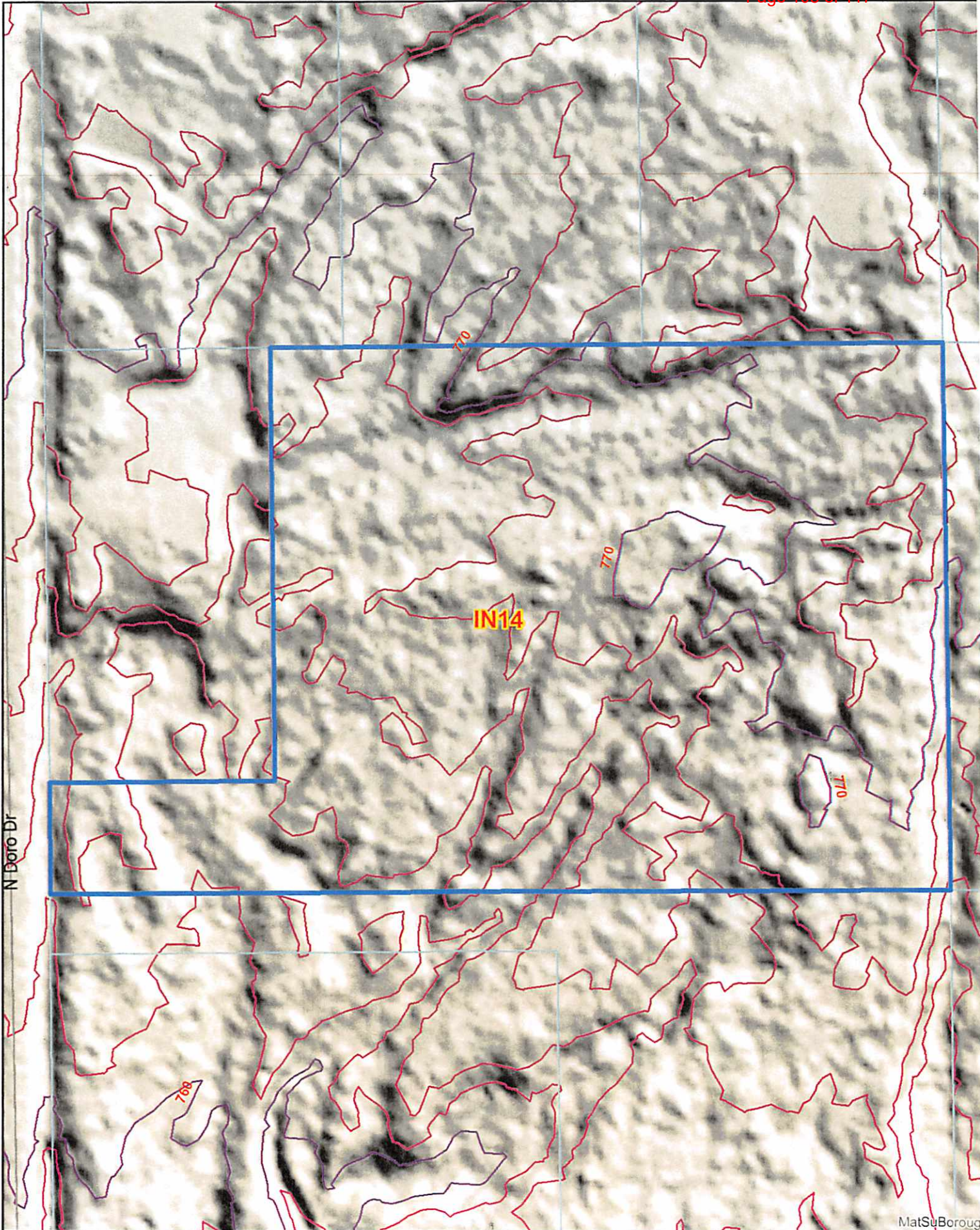


340 170 0 340 Feet

EXHIBIT A-2



80 40 0 80 Feet



MatSuBoroug

HANSON LAND SOLUTIONS
SURVEYING, ENGINEERING & LAND DEVELOPMENT SERVICES
305 E. Fireweed Ave. Palmer, AK 99645



RECEIVED
MAR 28 2024
PLATTING

USEABLE AREA CERTIFICATION

SUN VALLEY FERRIS

A SUBDIVISION OF

SUN VALLEY LOT 13B, BLOCK 4

INTRODUCTION TO INVESTIGATION

The following report outlines parameters and conclusions of an investigation into the suitability of the proposed subdivision lots for supporting construction and on-site waste-water treatment. Consideration is limited to only those lots containing less than 400,000 square feet of area and the report specifically addresses parameters set forth in Title 43.20.281 of the Matanuska-Susitna Borough Code.

INDIVIDUAL LOTS: MINIMUM SIZES

- All lots within this proposed subdivision are composed of at least 40,000 square feet in total area.

EXCEPTIONS:

[Empty rectangular box for exceptions]

USABLE BUILDING AREAS

CONFLICTING USE CONSIDERATIONS:

- All land recognized as suitable for Building Area is outside of lands dedicated to Public Use and lands reserved by Mat-Su Borough Improvement Setbacks, including boundary and water/wetland setbacks.

TOPOGRAPHIC/PLANIMETRIC CONSIDERATIONS:

- All land recognized as suitable for Building Area is characterized by slopes and soils upon which construction is possible.

USABLE SEPTIC AREAS

CONFLICTING USE CONSIDERATIONS:

- All land recognized as suitable for Useable Septic Area is outside of any land dedicated to Public Use.
- The Useable Septic Area is not situated within any easement (Utility or otherwise) such that use of said easement would interfere with an on-site septic.

TOPOGRAPHIC/PLANIMETRIC CONSIDERATIONS:

- The useable area consists entirely of land sloping less than 25% or will be at final certification.
- The useable area is set back 50' from any slopes exceeding 25% with more than 10' of elevation change or will be at final certification.
- The useable area is not less than 100' from the mean high water of any body of water, swamp, bog or marsh
- The useable area is not less than 200' from any public water well, nor less than 100' from any known private water well
- The useable area is outside of any known debris burial site.

SOILS INVESTIGATION

EXCAVATIONS

- Test-holes or borings have been made such that the bottom of the excavation is at least 12' deep and "shallow trench" or "bed systems" are anticipated
- Test-holes or borings have been made such that the bottom of the excavation is at least 16' deep and "deep trench" or "sewage pits" will likely be used
- Test-holes or borings were made to the depth of permafrost or an impermeable layer. (test holes with permafrost or impermeable layer):

[Empty rectangular box for test holes with permafrost or impermeable layer]

HANSON LAND SOLUTIONS
SURVEYING, ENGINEERING & LAND DEVELOPMENT SERVICES
305 E. Fireweed Ave. Palmer, AK 99645

SOIL CLASSIFICATIONS

- Soils within the potential absorption system area are expected to have a percolation rate of 15 minutes per inch or faster and have been visually classified under Uniform Soils Classification System as:
- (GW) TEST HOLES: (GP) TEST HOLES:
(SW) TEST HOLES: (SP) TEST HOLES: TH-1
- Soils within the potential absorption system area have been shown by mechanical analysis to be classified under the Uniform Soils Classification System as:
- (GM) TEST HOLES: (SM) TEST HOLES:
- Soils within the potential absorption system area have been shown by a percolation test, conducted in accordance with Alaska Department of Environmental Conservation (ADEC) regulations to have a percolation rate of 60 minutes per inch or faster. TEST HOLES:
- Bedrock, Clay, or other impermeable stratum was encountered. TEST HOLES:

GROUND WATER INVESTIGATION

- No groundwater was encountered in any of the Test Holes
- Groundwater was encountered in some Test Holes and excavation continued at least 2' below encounter depth. Seasonal High Water table level was determined by:
- Monitoring Test Holes May through October: TEST HOLES:
 Soil Mottling or Staining Analysis: TEST HOLES:
- Depth to seasonal high water is a min. of 8' TEST HOLES:
- Depth to seasonal high water is less than 8'
 Fill will be required A suitable standard design will be provided

SUMMARY OF REQUIRED FURTHER ACTION

- Additional Fill required to ensure 8' of coverage above water table Lots:
- The following special considerations preclude the reasonable creation of 8' of water table clearance and a standard septic design will be provided and constructed:
- Re-Grading will be required to eliminate slopes in excess of 25% Lots:
- No further action required to establish sufficient usable area.


I have assessed the land of the proposed subdivision in light of Title 43.20.281 of the Matanuska-Susitna Borough Code. The foregoing parameters have directed my investigation. My conclusions for all lots within the subdivision are as follows: 1. All contain sufficient overall area 2. All have at least 10,000 square feet of "Useable Building Area" 3. All have at least 10,000 square feet of "Contiguous Useable Septic Area".

William S. Klebesadel 3-26-24
WILLIAM S. KLEBESADEL P.E. Date
Professional Engineer



HANSON LAND SOLUTIONS
SURVEYING ENGINEERING & LAND DEVELOPMENT SERVICES
305 E. Fireweed Ave. Palmer, AK 99645

GEOTECHNICAL ANALYSIS – SOIL INSPECTION LOG			
Parcel:	SUN VALLEY LOT 13B, BLOCK 4	TEST HOLE NO.	Date: 03/15/24
Insp. By:	PIONEER	I	Job # 24-109

TEST HOLE EXCAVATION ANALYSIS		TEST HOLE LOCATION MAP										
1ft	OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY	See attached										
2ft												
3ft												
4ft	SP POORLY GRADED SANDS, GRAVELLY SANDS, LITTLE/NO FINES		PERCOLATION TEST									
5ft			Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop				
6ft			1									
7ft			2									
8ft			3									
9ft			4									
10ft			5									
11ft			6									
12ft			7									
		8										
		9										
		10										
	11											
	12											
		Perc. Hole Diam. (in.):										
		Test Run Between:										
		ft	and	ft	Deep							
13ft												
14ft												
15ft												
16ft												
17ft												
18ft												
19ft												
20ft												
							COMMENTS:					

Depth	
12ft	Total Depth of Test Hole
None	Depths where Seeps encountered
None	Depths where Ground Water encountered
None	Depths where Impermeable Soil (Silt / Clay / Bedrock) encountered
No	Monitor Tube Installed?

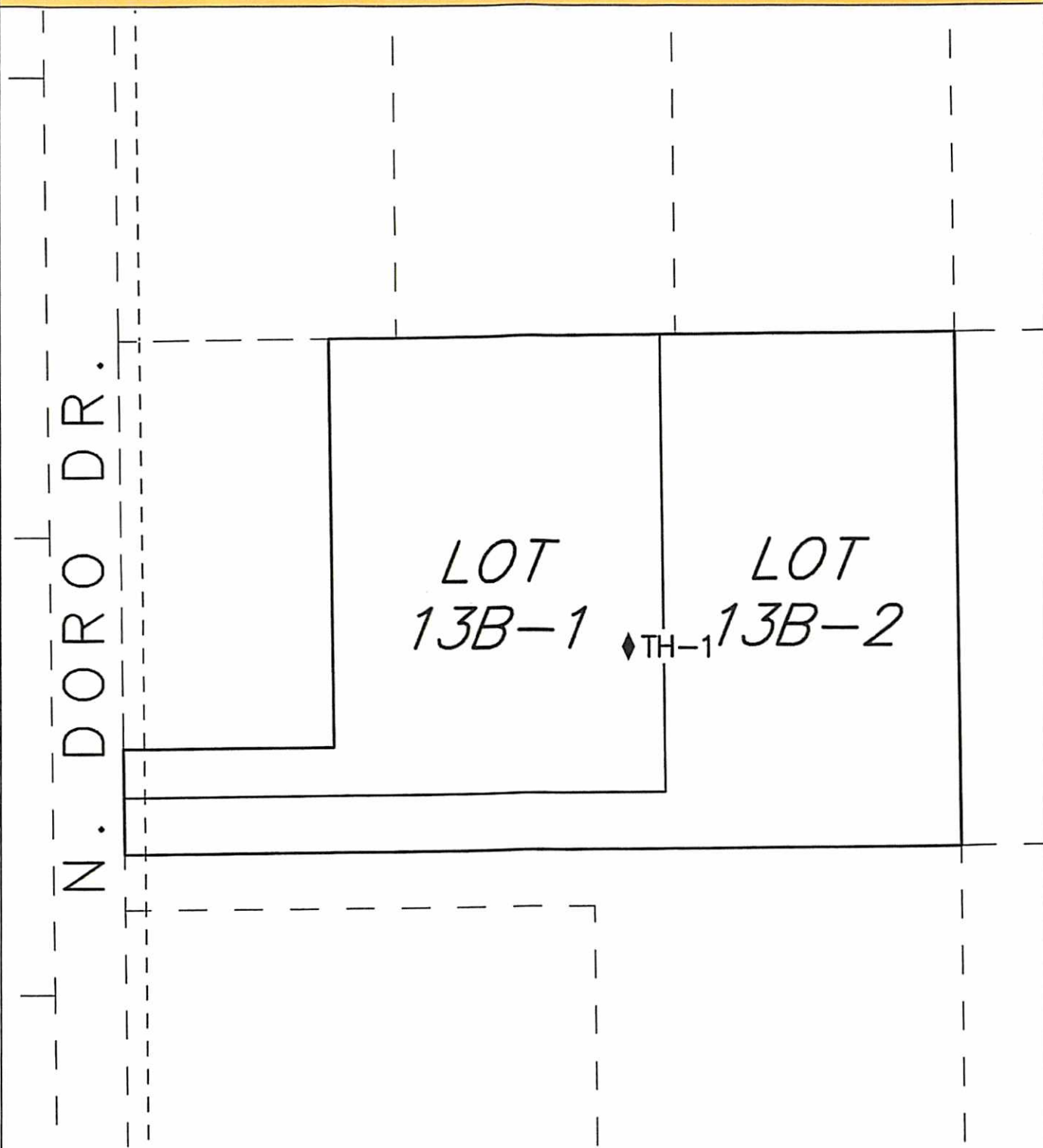
WATER LEVEL MONITORING	
Date	WATER LEVEL

HANSON LAND SOLUTIONS

SURVEYING, ENGINEERING, & LAND DEVELOPMENT SERVICES

305 EAST FIREWEED AVENUE PALMER, ALASKA, 99645

TEST HOLE LOCATION EXHIBIT MAP



LEGEND

◆ TEST HOLE

SUNNY VALLEY SUBDIVISION

FILE: 24-109

DRAWN: ELF

03/18/24

EXHIBIT A

Page 1 of 1

Jesse Curlin

From: Tammy Simmons
Sent: Tuesday, April 16, 2024 2:50 PM
To: Jesse Curlin
Cc: Brad Sworts; Jamie Taylor; Daniel Dahms; Tammy Simmons
Subject: Re: RFC Sun Valley Ferris (CC)

Hello,

PD&E has no comments or objections.

Thank you,

PD&E Review Group

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 4:33 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov <dnr.scro@alaska.gov>; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net <stark@mtaonline.net>; timhaldistrict1@gmail.com <timhaldistrict1@gmail.com>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop <mearow@mea.coop>; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>
Subject: RFC Sun Valley Ferris (CC)

Hello,

The following link is a request for comments on the proposed Sun Valley Ferris.
Please ensure all comments have been submitted by April 18, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

 [Sun Valley Ferris](#)

Sincerely,

Jesse C. "Chris" Curlin
Platting Technician

Jesse Curlin

From: Permit Center
Sent: Thursday, April 4, 2024 7:56 AM
To: Jesse Curlin
Subject: RE: RFC Sun Valley Ferris (CC)

Good morning,

This property will require a driveway permit. No other comments from Permitting.

Very Respectfully,

Jamie R Jokhy
Administrative Assistant
Development Services
(907) 861-7842
jamie.jokhy@matsugov.us



From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 4:34 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net; timhaledistrict1@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>
Subject: RFC Sun Valley Ferris (CC)

Hello,

The following link is a request for comments on the proposed Sun Valley Ferris.



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

April 18, 2024

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following abbreviated plat for **Patricia RSB Lot 1 (MSB Case# 2024-056)** and requests the following note to be added to the plat:

- ENSTAR Natural Gas Company, LLC advises that there is a high-pressure natural gas transmission pipeline within S. Knik-Goose Bay Road ROW. Notify ENSTAR prior to any excavation or construction within 25 FT of the S. Knik Goose Bay Road ROW.

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary and abbreviated plats and has **no comments or recommendations.**

- **Sun Valley Ferris**
(MSB Case# 2024-054)
- **Thor Road Addition PUE**
(MSB Case# 2024-045)
- **Lazy Moose Run**
(MSB Case# 2024-048)

If you have any questions, please feel free to contact me at (907) 714-7521 or by email at skylar.furlong@enstarnaturalgas.com.

Sincerely,

A handwritten signature in blue ink that reads "Skylar Furlong".

Skylar Furlong
Environmental Permitting & Compliance Specialist
ENSTAR Natural Gas Company, LLC

Jesse Curlin

From: OSP Design Group <ospdesign@gci.com>
Sent: Friday, April 12, 2024 8:58 AM
To: Jesse Curlin
Cc: OSP Design Group
Subject: RE: RFC Sun Valley Ferris (CC)
Attachments: Agenda Plat STAMPED.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Jesse,

GCI has no objections or comments to this plat.

Thank you,

JOSHUA SWANSON

GCI | Engineer II, OSP Design

w: www.gci.com

From: Jesse Curlin <Jesse.Curlin@matsugov.us>
Sent: Wednesday, April 3, 2024 4:34 PM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Postmaster <pamela.j.melchert@usps.gov>; Postmaster too <matthew.a.carey@usps.gov>; Postmaster three <jordan.t.matthews@usps.gov>; dnr.scro@alaska.gov; Myers, Sarah E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; Earl Almdale <Earl.Almdale@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; stark@mtaonline.net; timhaledistrict1@gmail.com; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>; Michael Keenan <Michael.Keenan@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Fire Code <Fire.Code@matsugov.us>
Subject: RFC Sun Valley Ferris (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments on the proposed Sun Valley Ferris.

Please ensure all comments have been submitted by April 18, 2024 so they can be incorporated in the staff report that will be presented to the Platting Officer.

 [Sun Valley Ferris](#)

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION NUMBER _____ DATED _____, 20____, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED

PLANNING AND LAND USE DIRECTOR _____ DATE _____

ATTEST: _____
(PLATTING CLERK)

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____, 20____, AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.

TAX COLLECTION OFFICIAL (MATANUSKA-SUSITNA BOROUGH) _____ DATE _____

SURVEYOR'S CERTIFICATE



I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED LAND SURVEYOR _____



NOTES

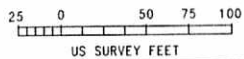
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- THE BASIS OF BEARING ON THIS PLAT IS TRUE NORTH WITH RESPECT TO THE LONGITUDINAL MERIDIAN THROUGH THE SOUTHWEST CORNER OF LOT 13B-2, A RECOVERED ALUMINUM MONUMENT WITH A NETWORK GNSS GEODETIC POSITION OF 61° 41' 20.57"N 149° 14' 05.57"W
- NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS THE SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS, AND RECOMMENDATIONS OF THE STATE OF ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERNS THOSE SYSTEMS.
- THERE MAY BE FEDERAL, STATE, AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
- COVENANTS, CONDITIONS AND RESTRICTIONS WERE RECORDED ON NOVEMBER 1, 1977 IN BOOK 151, PAGE 809 AND AMENDED ON OCTOBER 20, 1981 IN BOOK 246, PAGE 592.



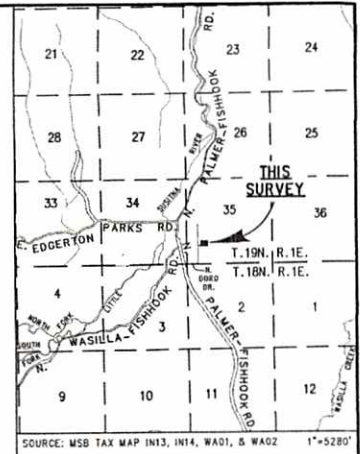
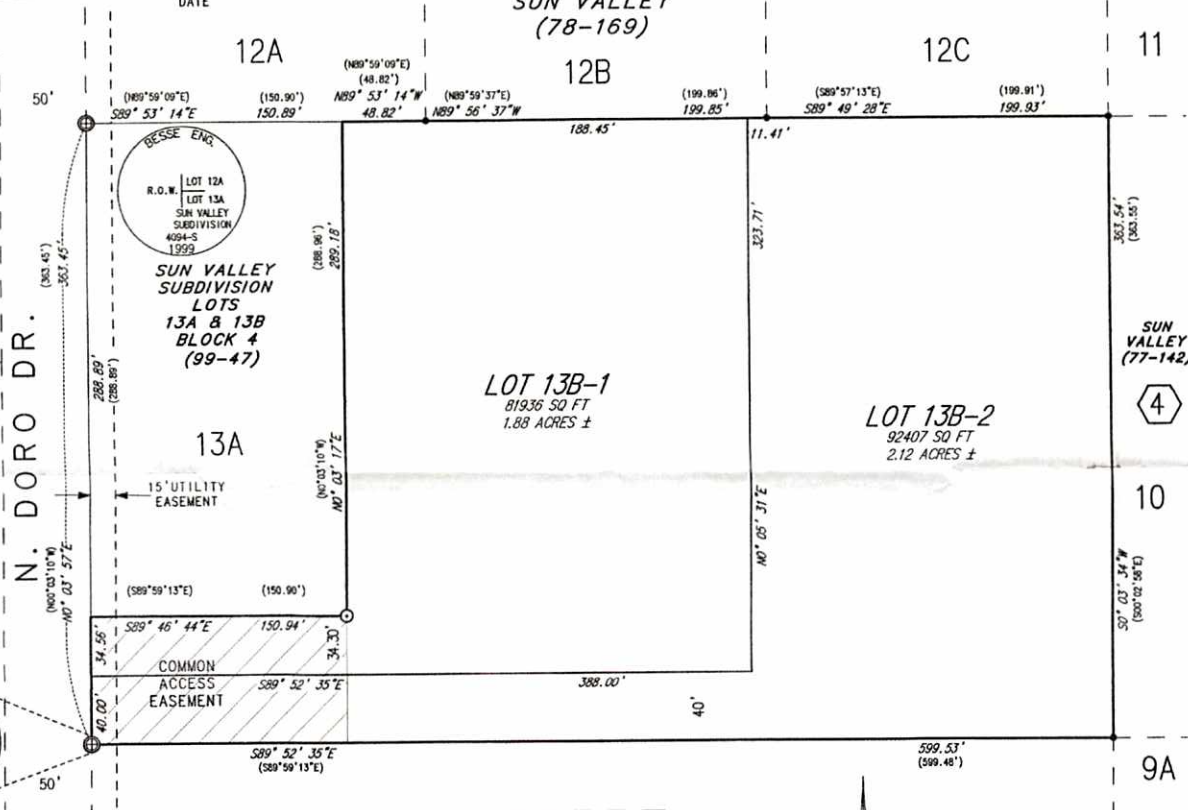
TYPICAL SET 1 1/4" PLASTIC CAP

- 174° 58' 11" W 255.65' (254.70') RECORD PER PLAT (99-47) SUN VALLEY SUB. L13A & 13B BLOCK 4
- RECOVERED 2 1/2" ALUMINUM POST MONUMENT
 - SET PLASTIC CAP ON 3/8" x 30" REBAR AT ALL LOT CORNERS, PT'S, AND PC'S
 - RECOVERED 1/2" REBAR
 - MEASURED DATA

LEGEND



**LOT 12
BLOCK 4
SUN VALLEY
(78-169)**



CERTIFICATE OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT.

LINDA FERRIS _____ DATE _____
#398 7362 N. PARKS HWY.
WASILLA, AK 99623

NOTARY ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

RECEIVED
Agenda Copy MAR 28 2024
PLATTING

A PLAT OF
SUN VALLEY FERRIS
A SUBDIVISION OF
LOT 13B
SUN VALLEY SUBDIVISION LOT 13A AND 13B
BLOCK 4 (PLAT 99-47)
PALMER RECORDING DISTRICT
THIRD JUDICIAL DISTRICT
STATE OF ALASKA
LOCATED WITHIN
SW 1/4 SEC. 35, T.19N. R.1E. SM, AK
CONTAINING 4.00 ACRES MORE OR LESS

**HANSON
LAND SOLUTIONS**
ALASKA BUSINESS LICENSE #1525
305 EAST FIREWEED AVENUE
PALMER, ALASKA, 99645
(907)746-7738

EXHIBIT E-3