



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
Email: permitcenter@matsugov.us

APPLICATION FOR A TALL STRUCTURE – MSB 17.67

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,500 for Conditional Use Permit - > 125 feet in height
- \$ 500 for Administrative Permit – 85' to 125' in height
- \$ 100 for Network Improvement Permit – In accordance with MSB 17.67.110.

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission or Planning Director decision.

Subject Property Township: _____, Range: _____, Section: _____, Meridian _____
 MSB Tax Account # 7762000L002
 SUBDIVISION: TKM Acres BLOCK(S): _____, LOT(S): 2
 STREET ADDRESS: _____
 (US Survey, Aliquot Part, Lat. /Long. etc) TRS S19N03E30

Ownership A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner	Name of Agent/ Contact for application
<u>Charles D. Hovick</u>	<u>Helmundt Strumpher Atlas Towers 1, LLC</u>
Address: <u>PO Box 271 Palmer</u>	Address: <u>3002 Bluff Street, Suite 300,</u>
<u>AK 99645</u>	<u>Boulder, CO, 80301</u>
Phone: Hm <u>907 856 202</u> Fax _____	Phone: Hm _____ Fax _____
Wk <u>907 349 9669</u> Cell <u>907 830 6202</u>	Wk <u>303 448 8896</u> Cell <u>720-667-6652</u>
E-mail <u>dhovick@ravenelectric.com</u>	E-mail <u>hstrumpher@atlastowers.com</u>

Special Land Use District (if applicable): Sutton SPUD

Pre-Application Requirements for New Tall Structures that Require a Conditional Use Permit	
<i>Prior to applying for a conditional use permit for a new tall structure, the applicant shall hold at least one community meeting.</i>	
1. The meeting shall be held at the nearest facility where community council meetings are regularly scheduled. If the facility is not available, the nearest available public facility that is capable of seating a minimum of 20 people shall be utilized.	
2. The meeting shall be held at least 15 calendar days after mailing of the notification.	
3. The meeting shall not start prior to 5:00 p.m. and no later than 7:00 p.m.	
4. Notification of the meeting shall, at a minimum, include the following: <ul style="list-style-type: none"> • Legal description and map of the general parcel, or parcels, within the coverage area under consideration for the telecommunication facility. • Description of the proposed development including height, design, lighting, potential access to the site and proposed service. • Date, time, and location of the informational meeting. • Contact name, telephone number, and address of applicant. • Comment form created by the borough that has a comment submittal deadline and provides options for submitting comments. 	
5. At a minimum, the notification area for the meeting shall include the following: <ul style="list-style-type: none"> • Property owners within one-half mile of the parcels under consideration for the proposed tall structure. • The nearest community council and any community council whose boundary is within 1200 feet of the parcels under consideration for the tall structure. 	
<i>A written report summarizing the results of the community meeting shall be prepared that includes the following information:</i>	Attached
1. Dates and locations of all meetings where citizens were invited to discuss the potential applicant's proposal.	
2. Content, dates mailed, and numbers of mailings, including letters, meeting notices, newsletters and other publications.	
3. Sign-in sheet(s) used at the meeting, that includes places for names, address, phone numbers and other contact information such as e-mail addresses.	
4. A list of residents, property owners, and interested parties who have requested in writing that they keep informed of the proposed development through notices, newsletters, or other written materials.	
5. The number of people who attended meetings.	
6. Copies of written comments received at the meeting.	
7. A certificate of mailing identifying all who were notified of the meeting.	
8. A written summary that addresses the following: <ul style="list-style-type: none"> • The substance of the public's written concerns, issues, and problems. • How the applicant has addressed, or intends to address, concerns, issues and problems expressed during the process. • Concerns issues, and problems the applicant has not addressed or does not intend to address and why. 	

General application requirements for <u>Administrative</u> and <u>Conditional Use Permits</u>	Attached
1. Design drawings for the proposed tall structure, drawn to scale, and certified by a registered engineer or architect.	
2. Citizen participation report <i>(if applying for a Conditional Use Permit)</i>	
3. Certified site plan <i>(As defined in MSB 17.125.010)</i>	
4. Copy of a determination of no hazard to air navigation from the Federal Aviation Administration.	
5. If breakpoint technology is intended to be utilized, a written statement specifying the height at which the engineered structural weakness will be located.	

In order to grant a <u>Conditional Use Permit</u> or <u>Administrative Permit</u> the Planning Commission or Planning Director must find that each of the following criteria has been met. Explain the following in detail:	Attached
1. To the extent that is technically feasible and potentially available, the location of the tall structure is such that its negative effects on the visual and scenic resources of all surrounding properties have been minimized.	
2. Visibility of the tall structure from public parks, trails recognized within adopted MSB plans, and waterbodies has been minimized to the extent that is technically feasible and potentially available.	
3. The tall structure will not interfere with the approaches to any existing airport or airfield that are identified in the MSB Regional Aviation System Plan or by the Alaska State Aviation System Plan.	
4. That granting the permit will not be harmful to the public health, safety, convenience, and welfare.	

Application requirements for a <u>Network Improvement Permit</u>	Attached
1. A description of the proposed modifications to the telecommunication tower, including a description of the height, type, and lighting of the new or modified structure and the existing structure.	
2. A certified site <i>(as defined in MSB 17.125.010)</i> for purposes of setback verification.	
3. Design drawings for the proposed modified or new structure, drawn to scale, and certified by a registered engineer or architect.	

In order to grant a <u>Network Improvement Permit</u> the Planning Director must find that each of the following criteria has been met. Explain the following in detail.	Attached
1. The proposed development conforms to setback requirements of MSB 17.55.	
2. The telecommunication tower being extended was lawfully constructed at the time of application for a Network Improvement Permit.	
3. The proposed modification does not violate permit conditions of any valid permits that have been issued to the existing facility, provided that the condition being violated does not limit height of the structure.	

Operation Standards for New Tall Structures – Conditional Use Permit, Administrative Permit, and Network Improvement Permit	Attached
1. The equipment compound shall meet minimum setback distances from all property lines in accordance with MSB 17.55	
2. Setbacks shall be determined from the dimensions of the entire lot, even though the tower may be located on lease areas within the lot.	
3. Adequate vehicle parking shall be provided on the subject property, outside of public use easements and rights-of-way to enable emergency vehicle access. No more than two spaces per provider shall be required.	
4. Information signs for the purpose of identifying the tower such as the antenna structure registration number required by the Federal Communications Commission, as well as the party responsible for the operation and maintenance of the facility shall be visibly posted at the equipment compound.	
5. If more than 220 volts are necessary for the operation of the facility, warning signs shall be located at the base of the facility and shall display in large, bold, high contrast letters the following: "HIGH VOLTAGE – DANGER".	
6. A 24-hour emergency contact number shall be visibly posted at the equipment compound.	
7. A fence or wall not less than six (6) feet in height with a secured gate shall be maintained around the base of the tower.	

Additional Standards for <u>Wind Energy Conversion Systems (WECS)</u> – In addition to the operations standards for new tall structures, the following standards shall apply to WECS	Attached
1. WECS shall be equipped with an automatic overspeed control device designed to protect the system from sustaining structural failure such as splintered or thrown blades and the overturning or breaking of towers due to an uncontrolled condition brought on by high winds.	
2. WECS shall have a manually operable method that assures the WECS can be brought to a safe condition in high winds. Acceptable methods include mechanical or hydraulic brakes or tailvane deflection systems which turn the rotor out of the wind.	

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) 531526 and,
I hereby apply for approval conditional use permit on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB _____ and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

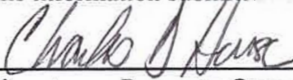
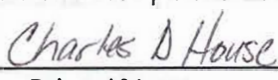
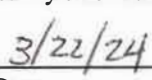
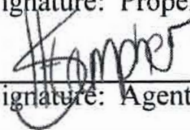
I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved conditional use permit may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

		
Signature: Property Owner	Printed Name	Date
	Helmundt Strumpher	
Signature: Agent	Printed Name	Date

MSB USE ONLY Date application submitted: Date application determined complete: _____

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 776 2000L002

Applicant: Atlas Tower

USE PERMITS {100.000.000.341.300}	Fee
8.35 Public Display of Fireworks	\$25.00
8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.52 Temporary Noise Permit	\$1000.00
8.55 Special Events Permit 500 – 1000 Attendees	\$500.00
1000+ Attendees	\$1,000.00
8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
17.02 Mandatory Land Use Permits	\$50.00
17.04 Nancy Lake Special Land Use District CUP	\$1,500.00
17.06 Electrical Generating & Delivery Facility Application	\$500.00
17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
17.17 Denali State Park Conditional Use Permit	\$1500.00
17.18 Chickaloon Special Land Use District CUP	\$1500.00
17.19 Glacier View Special Land Use District CUP	\$1500.00
17.23 Port MacKenzie Development Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit	\$1500.00
17.25 Talkeetna Conditional Use Permit – Variance	\$1500.00
17.27 Sutton Special Land Use District CUP	\$1500.00
17.29 Flood Damage Prevention Development Permit	\$100.00
17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
17.30.040 Earth Materials Extraction Admin. Permit	\$1000.00
17.30.050 Earth Materials Extraction CUP	\$1500.00
17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots	\$500.00
Additional Lots or tracts being created – Per Lot	\$100.00
17.48 Mobile Home Park Permit Application	\$500.00
17.52 Residential Land Use District App (Rezone)	\$1,000.00
17.52 Conditional Use Permit Application CUP	\$1,500.00
17.55 Shoreline Setback Exception Application	\$300.00
17.60 Conditional Use Permit Application	\$1500.00
17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1500.00
17.62 Coal Bed Methane	\$1500.00

	17.63 Conditional Use Permit for Racetracks	\$1500.00
	17.65 Variance	\$1500.00
X	17.67 Tall Structures - Network Improvement Permit Nonconforming Use ✓ Administrative Permit ✓ Conditional Use Permit	\$100.00 \$200.00 \$500.00 \$1500.00
	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1500.00
	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
	17.75 Single-Family Residential Land Use District CUP	\$500.00
	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$300.00
	28.60 Timber Transport Permit	\$1500.00
		\$300.00

	RIGHT-OF-WAY FEES:	
	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
	Construction	\$200.00
	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
	Encroachment	\$150.00
	Construction Bond {100.227.000}	

	PLATTING PRE-APPLICATION CONFERENCE:	
	Pre-Application Fee	\$50.00

	FEES:	
	Flood Plain Development Survey CD	\$10.00
	CD/DVD/DVD-R	\$7.50
	Construction Manual/Title 43	\$5.00
	Plat Map/Tax Map Copies/Mylar	\$5.00
	Color Maps	\$12.00
	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
	Advertising Fees	
	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 500 Amount Paid Date: 4/5/24 Receipt # 1629 By: MC

Matanuska-Susitna Borough
Finance
350 E Dahlia Avenue
Palmer, AK 99645
907-861-8610
Welcome

04/08/2024 01:14PM Madeline C
000081-0002 000001629
Payment Effective Date 04/08/2024

MISCELLANEOUS RECEIPT

100000000 341300 - Planning - Platting - 2024 Item: 57 1 @ \$500.0000 100000000 341300 - Planning - Platting - Map Fees	\$500.00

	\$500.00
Subtotal	\$500.00
Total	\$500.00
CHECK	\$500.00
Check Number 1223	

Change due	\$0.00

Paid by: ATLAS TOWER 1 LLC

Comments: ADMINISTRATIVE PERMIT TALL
STRUCTURES

Thank you for your payment

CUSTOMER COPY



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 57762000L002

Site Information

Account Number	57762000L002	Subdivision	TKM AC
Parcel ID	531526	City	None
TRS	S19N03E30	Map SU13	Tax Map
Abbreviated Description (Not for Conveyance)	TKM AC LOT 2		

Ownership

Owners	HOUSE CHARLES D WOODWORTH-HOUSE	Buyers	
	SONYA S		
Primary Owner's Address	PO BOX 271 PALMER AK 99645-0271	Primary Buyer's Address	

Appraisal Information

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2024	\$62,000.00	\$0.00	\$62,000.00	2024	\$62,000.00	\$0.00	\$62,000.00
2023	\$62,000.00	\$0.00	\$62,000.00	2023	\$62,000.00	\$0.00	\$62,000.00
2022	\$62,000.00	\$0.00	\$62,000.00	2022	\$62,000.00	\$0.00	\$62,000.00

Building Information

Building Item Details

Building Number		Description	Area	Percent Complete
Tax/Billing Information				
Year	Certified	Zone	Mill	Tax Billed
2024	Yes	0020	16.593	\$1028.77
2023	Yes	0020	16.248	\$1007.37
2022	Yes	0020	16.758	\$1038.99

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total ³	LID Exists
Current		\$1,028.77	\$0.00	\$0.00	\$0.00	\$0.00 No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
50.31	49.59	Assembly District 001	29-530	004 Sutton FSA	031 Alpine RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

Last Updated: 7/2/2024 2:00:01 PM

Atlas Tower 1, LLC
3002 Bluff Street, Suite 300
Boulder, CO 80301
(303) 448-8896



March 22, 2024

Matanuska-Susitna Borough Development Services Division
350 E. Dahlia Ave
Palmer, AK 99645

RE: Conditional Use Permit Narrative for Telecommunications Facility
Site Name: Sutton

To Whom It May Concern:

Atlas Tower 1, LLC is submitting a Conditional Use Permit Application to the Matanuska-Susitna Borough Development Services Division for review of a new proposed wireless telecommunications facility build on the property with Tax ID #7762000L002 / Parcel #: **S19N03E30**. This letter shall serve as a narrative for the proposed 125' self support (Lattice) telecommunications facility and how this project will provide the needed mobile network coverage while reducing the need for additional cellular facilities in the future. This project is being proposed and this justification is being provided in an effort to alleviate current mobile network voice, data, and first responder issues in an area that is severely lacking reliable network coverage and capacity.

SITE DETAILS

Land Owner:

Charles D. House & Sonya S.
Woodworth-House
18292 E Stayton Ave
Palmer, AK, 99645

Site Address:

Mile 58 Road
Palmer, AK, 99645
Sutton Community Council
Parcel #: **S19N03E30**

Applicant:

Atlas Tower 1, LLC
3002 Bluff St., Suite 300
Boulder, CO 80301

Coordinates:

Latitude: 61.702630
Longitude: -148.982128
Ground Elevation: 836'

Zoning:

Sutton Special Land Use District

Lease Area:

50 x 50

PROPOSAL SUMMARY

The purpose of this request is to build an 125' self support telecommunications tower within a 50 x 50 wireless facility. This facility will provide critical wireless coverage to the surrounding area. The proposed site is zoned TKM AC LOT2 where coverage is lacking, and the capacity of the existing infrastructure is reaching its limit. As the area develops further, and the existing users demand more data for their existing devices, existing infrastructure will reach capacity limits and be unable to meet coverage needs. This tower and facility will be used for structural support of up to four wireless providers. Each provider will install antennas and on-the-ground base-station equipment.

WIRELESS TELECOMMUNICATION FACILITY CHARACTERISTICS

Visual Effect

We strive to design our facilities and locate parcels that create the least amount of community disturbance. The surrounding area is a largely wooded rural area with low density residential zones nearby. The proposed site is chosen to maximize visual aesthetic and distance from residential homes. This site is setback from 1.23 miles from the Matanuska River in order to provide coverage to the area while minimizing visibility from the river. Applicant is likewise proposing an 125' facility in order to reduce any visual impact while still providing the necessary coverage to the nearby area.

Frequency Of Maintenance Work On The Proposed Facility

On average, after initial installation, a carrier or its contactors would likely visit the facility about one to four times a year for maintenance, though this number could vary depending on the specific circumstances of the facility.

The Average Number Of Vehicles Visiting The Facility

The average maintenance visit by a carrier or its contractors would likely involve one pickup truck. With an average of one to four visits a year and one truck a visit, there would likely be about one pickup truck visiting the site a month, per carrier, if at full capacity. Applicant shall be responsible for maintaining access to site, when needed, regardless of time of year. Applicant's proposed access meets all requirements concerning the MSB 11.12 – Driveway Standards.

The Average Duration Work Visits On The Facility

For typical maintenance visits, a carrier or its contactors would only be at the site a few hours, but this number could increase depending on the work that needed to be completed at the site.

Expected Noise Levels

Telecommunications facilities are essentially silent. This would be true whether there were one or four carriers. There will be emergency generators on site, however, would only be operated on site in the rare instance that power went out. The generators would create noise, but it would not be noticeable or audible outside of the location the telecommunications facility is proposed to be and only producing noise for a temporary amount of time during a local power outage.

Power and Utilities

This telecommunications will not require more than 220 volts for operation.

Setback Compliance

The proposed tower has been setback at least 125' from any property line in order to maintain compliance with the Matanuska Susitna Burrough Code requirements.

Site Security

The proposed tower shall be secured with a locked 8' chain link fencing with an addition 1' of barbed wire on top to prevent unauthorized visitors.

MSB Zoning Code Compliance; Public Health

The proposed tower does not and shall not waiver from any standards or requirements as written within the MATANUSKA-SUSITNA BOROUGH CODE. Likewise granting of this Conditional Use Permit will be

beneficial to the public health, safety, convenience, and welfare with the public having increased access to mobile network services and connectivity.

Building Codes; Safety Standards

Atlas Tower will ensure the structural integrity of towers, ensure that it is maintained in compliance with standards contained in applicable state or local building codes and the applicable standards for towers that are published by the Electronic Industries Association, as amended from time to time. Granting of this permit will not be harmful to the public health, safety, convenience, or welfare. If, upon inspection, Matanuska-Susitna Borough concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards, unless a longer time is reasonably necessary. Failure to bring such tower into compliance within said thirty (30) days shall constitute grounds for the removal of the tower or antenna at the owner's expense. Breakpoint technology will not be utilized in this tower.

FAA/FCC Compliance

Applicant has submitted the appropriate applications with the FAA & FCC but has yet to receive a determination. The proposed facility shall conform to the requirements of this title, this code, and other laws, including pertinent federal regulations of the Federal Communications Commission (FCC) and the Federal Aviation Administration's requirements regarding CFR Title 14 Part 77.9 (FAA) when determined, which is expected in August of 2024. If lighting is required, the lighting will be installed and maintained in accordance with the FAA and the certified site plans will be updated to reflect the lighting on the tower, if needed.

Access & Utility Easement Dedication

Applicant, upon Zoning approval of the site plan, will have all access and utility route surveyed and filed with the local recording district prior to construction of the tower.

This narrative represents required and supplementary information to document the technological, economic, and social necessity and benefits of a new 125' self-support (Lattice) telecommunications tower in Sutton. The information provided highlights the advantages associated with a telecommunications facility at our proposed site. See attached documents to showing our survey and tower drawings.

Atlas Tower 1, LLC respectfully requests the acceptance of our application for a Conditional Use Application for the proposed communications tower facility.

Best Regards,

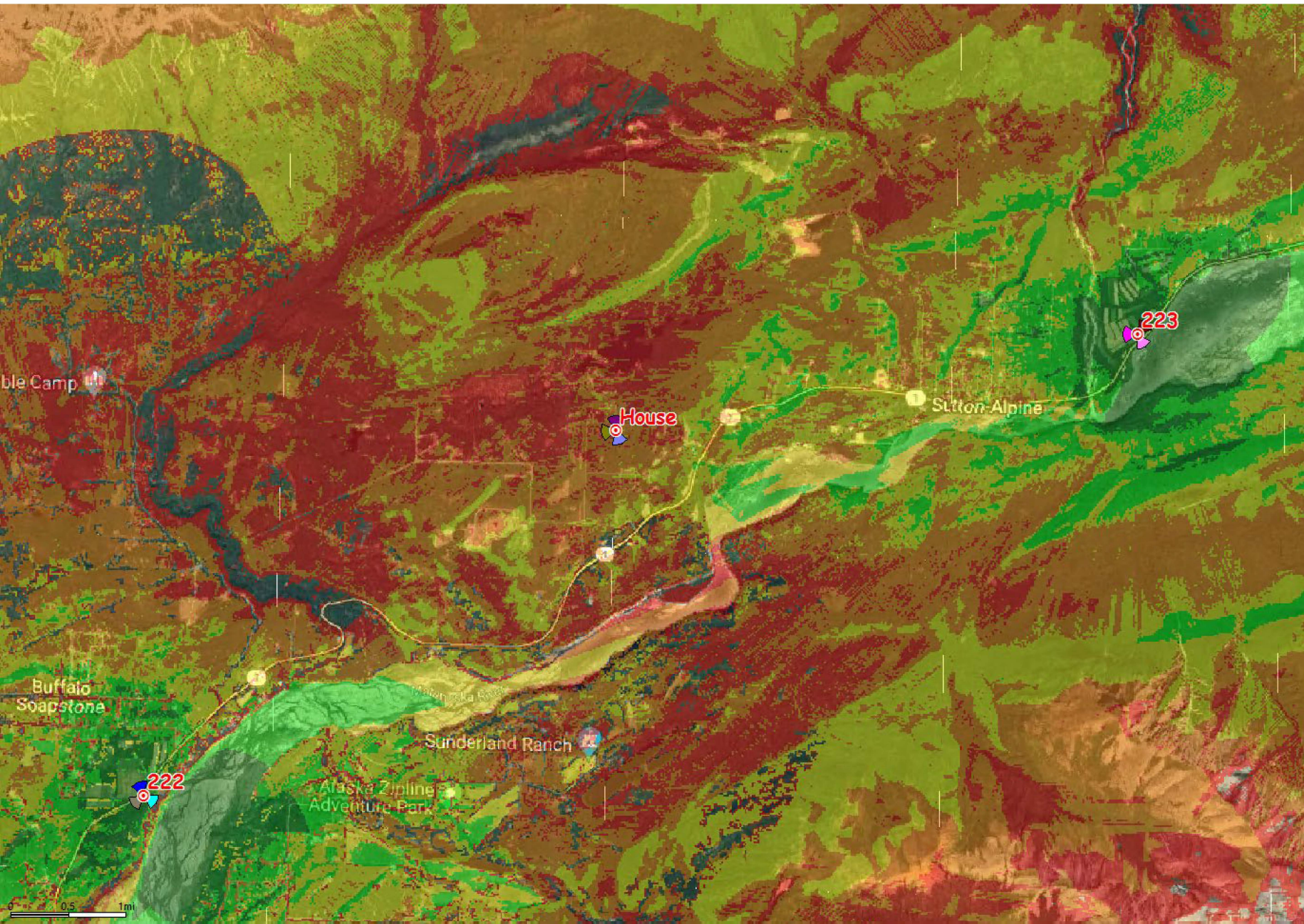
Helmundt Strumpher
720-667-6652
www.atlastowers.com
3002 Bluff St. Suite 300 Boulder, CO 80301

Market : Sutton

House/Sutton 17 Mile Lake

Coverage analysis

Rad Center of 80/100/115/120 ft
Comparison
Initial Azimuths 0/160/260
LTE Design Analysis
Pre/Post Upgrade



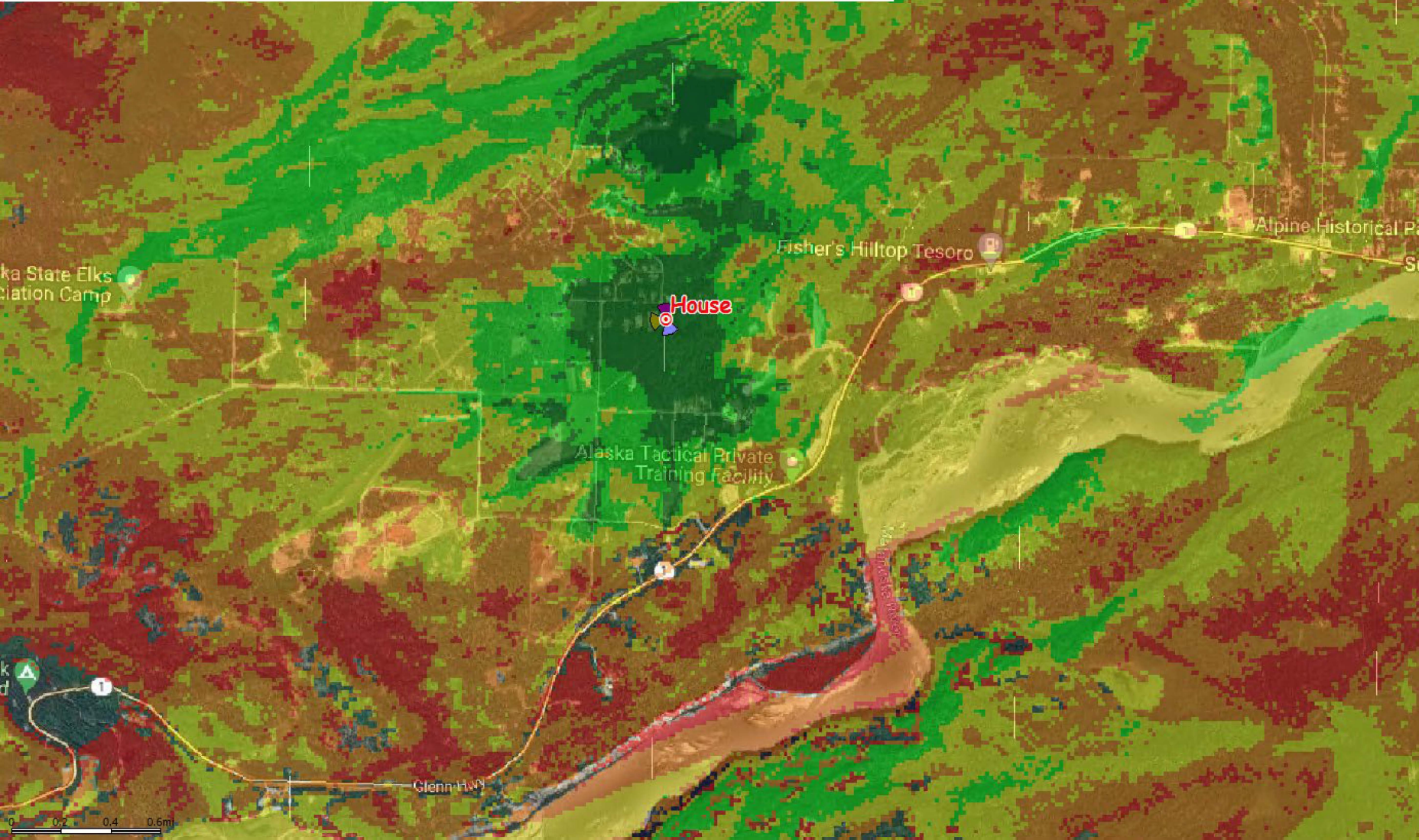
- RSRP Level (DL) (dBm) ≥ -85 (Deep Indoor)
- RSRP Level (DL) (dBm) ≥ -95 (Indoor)
- RSRP Level (DL) (dBm) ≥ -105 (In-car)
- RSRP Level (DL) (dBm) ≥ -115 (Outdoor)
- RSRP Level (DL) (dBm) ≥ -125 (Poor Coverage)
- RSRP Level (DL) (dBm) ≥ -135 (No Coverage)



New Services Coverage (New Site)

Legend		Zone Surface (mi ²)	Population (Population)	Population (%Population)	Population (Population [total])
		4.8279	224.8	97.9	229.62
RSRP Level (DL) (dBm) >= -85	Deep Indoor		34.53	15.04	229.62
-95 <= RSRP Level (DL) (dBm) < -85	Indoor		37.85	16.48	229.62
-105 <= RSRP Level (DL) (dBm) < -95	Incar		83.35	36.3	229.62
-115 <= RSRP Level (DL) (dBm) < -105	Outdoor		64.65	28.15	229.62
-125 <= RSRP Level (DL) (dBm) < -115	Poor Coverage		4.44	1.93	229.62

80ft RAD



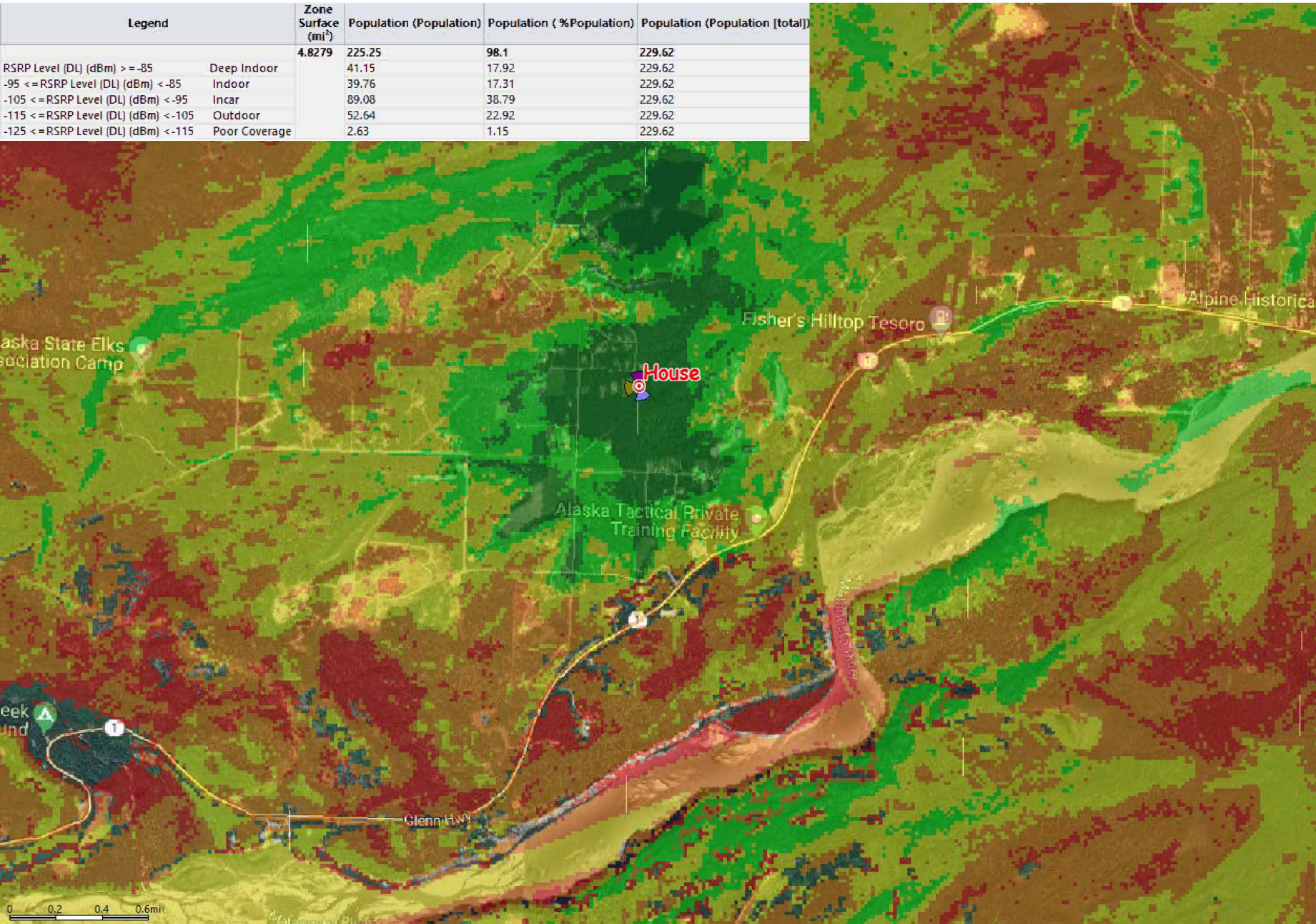
- RSRP Level (DL) (dBm) >= -85 (Deep Indoor)
- RSRP Level (DL) (dBm) >= -95 (Indoor)
- RSRP Level (DL) (dBm) >= -105 (In-car)
- RSRP Level (DL) (dBm) >= -115 (Outdoor)
- RSRP Level (DL) (dBm) >= -125 (Poor Coverage)
- RSRP Level (DL) (dBm) >= -135 (No Coverage)



New Services Coverage (New Site)

Legend	Zone Surface (mi ²)	Population (Population)	Population (%Population)	Population (Population [total])
RSRP Level (DL) (dBm) >=-85	4.8279	225.25	98.1	229.62
-95 <=RSRP Level (DL) (dBm) < -85		41.15	17.92	229.62
-105 <=RSRP Level (DL) (dBm) < -95		39.76	17.31	229.62
-115 <=RSRP Level (DL) (dBm) < -105		89.08	38.79	229.62
-125 <=RSRP Level (DL) (dBm) < -115		52.64	22.92	229.62
-125 <=RSRP Level (DL) (dBm) < -115		2.63	1.15	229.62

100ft RAD



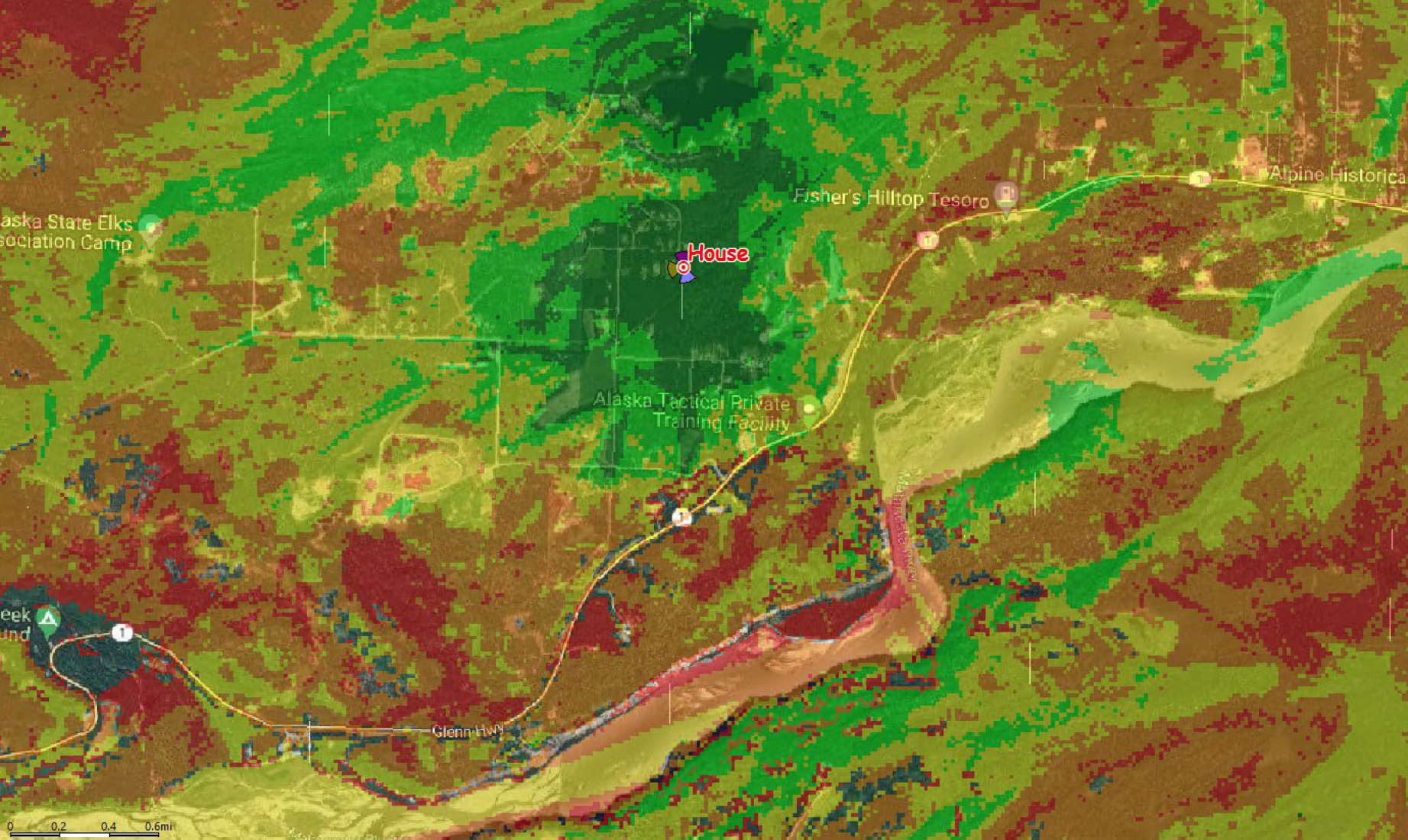
- RSRP Level (DL) (dBm) >=-85 (Deep Indoor)
- RSRP Level (DL) (dBm) >=-95 (Indoor)
- RSRP Level (DL) (dBm) >=-105 (In-car)
- RSRP Level (DL) (dBm) >=-115 (Outdoor)
- RSRP Level (DL) (dBm) >=-125 (Poor Coverage)
- RSRP Level (DL) (dBm) >=-135 (No Coverage)



New Services Coverage (New Site)

115ft RAD

Legend	Zone Surface (mi ²)	Population (Population)	Population (%Population)	Population (Population [total])
RSRP Level (DL) (dBm) >=-85	4.8279	225.8	98.34	229.62
-95 <=RSRP Level (DL) (dBm) < -85		48.22	21	229.62
-105 <=RSRP Level (DL) (dBm) < -95		40.11	17.47	229.62
-115 <=RSRP Level (DL) (dBm) < -105		89.83	39.12	229.62
-125 <=RSRP Level (DL) (dBm) < -115		44.87	19.54	229.62
		2.78	1.21	229.62



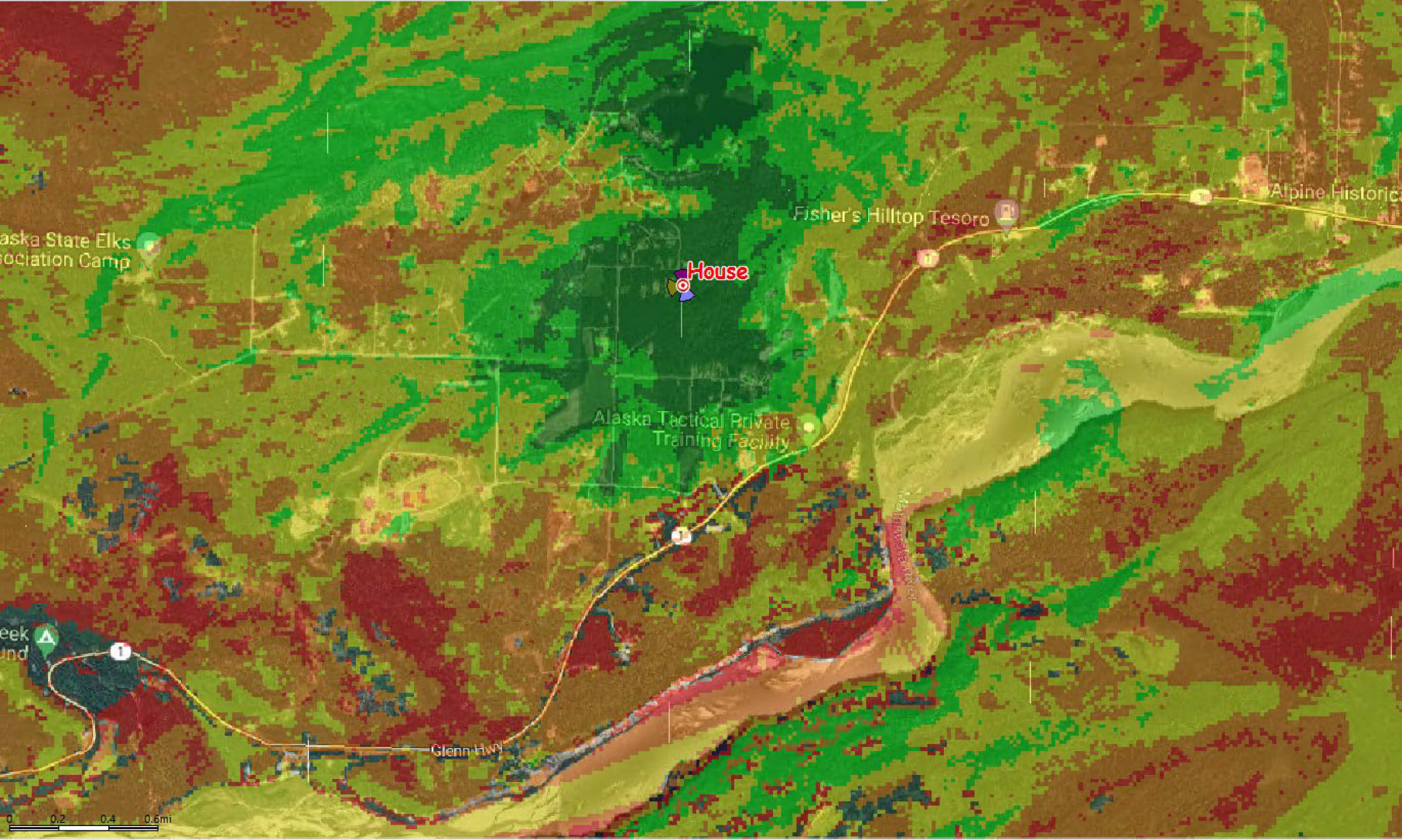
- RSRP Level (DL) (dBm) >=-85 (Deep Indoor)
- RSRP Level (DL) (dBm) >=-95 (Indoor)
- RSRP Level (DL) (dBm) >=-105 (In-car)
- RSRP Level (DL) (dBm) >=-115 (Outdoor)
- RSRP Level (DL) (dBm) >=-125 (Poor Coverage)
- RSRP Level (DL) (dBm) >=-135 (No Coverage)



New Services Coverage (New Site)

120ft RAD

Legend		Zone Surface (mi ²)	Population (Population)	Population (% Population)	Population (Population [total])
RSRP Level (DL) (dBm) >=-85	Deep Indoor	4.8279	225.92	98.39	229.62
-95 <=RSRP Level (DL) (dBm) < -85	Indoor		49.9	21.73	229.62
-105 <=RSRP Level (DL) (dBm) < -95	Incar		41.71	18.16	229.62
-115 <=RSRP Level (DL) (dBm) < -105	Outdoor		88.01	38.33	229.62
-125 <=RSRP Level (DL) (dBm) < -115	Poor Coverage		43.42	18.91	229.62
			2.88	1.26	229.62



- RSRP Level (DL) (dBm) >=-85 (Deep Indoor)
- RSRP Level (DL) (dBm) >=-95 (Indoor)
- RSRP Level (DL) (dBm) >=-105 (In-car)
- RSRP Level (DL) (dBm) >=-115 (Outdoor)
- RSRP Level (DL) (dBm) >=-125 (Poor Coverage)
- RSRP Level (DL) (dBm) >=-135 (No Coverage)



Conclusion

- We will meet coverage requirement better at the highest RAD @ 120ft
- 100ft is a good fallback RAD center if we cant Achieve 120ft

New Tower Location:

- GPS Coordinates: 61.70263, -148.982128



State of Alaska
 Department of Transportation and Public Facilities

Driveway Approval to Construct
ATC 33536

Contact Name: Helmundt Strumpher Phone Number: (720) 466-1508

Owner: Atlas Tower 1, LLC
 Mailing Address: 2500 Bluff St. Suite 304
 Boulder, CO 80030

Driveway Location: South one-half of the Southeast one-quarter (S1/2 SE1/4) Section 30, Township 19 North, Range 3 East, Seward Meridian, in the Records of the Palmer Recording District, Third Judicial District, Parcel ID # 531526

Approval to Construct Expires: 09/30/2026

This Approval to Construct (ATC) pertains only to State rights of way.

Driveway Provisions:

A copy of this ATC must be on site during construction of the driveway.

The State reserves the right to require the removal of all activities from the area if any conditions of this ATC are violated.

This ATC is not a property right but a temporary authorization revocable by the State upon violation of any provision, special conditions, or other reasons. All reasonable attorney's fees and costs associated with legal or enforcement actions related to the terms and conditions of this ATC will be borne by the Owner.

A driveway constructed within the State rights of way is the property of the State, but all cost and liability arising from the construction, operation, or maintenance of a driveway is at the sole expense of those lands served. The Department is not obligated to change its maintenance practices to accommodate a driveway or to incur any additional expense removing snow berms or other obstructions from a driveway within the rights of way resulting from the Department's activities, or activities under a permit issued under 17 AAC 15 (Utility and Railroad Permits).

Any survey monument or monument accessory which will be disturbed or destroyed during construction of the driveway, will be referenced prior to the disturbance and restored or replaced by a Land Surveyor licensed in the State of Alaska. The Land Surveyor must file a Monument Record in accordance with AS 34.65.040. All Monument Records will be reviewed by the Department prior to filing with the District Recorder.

The Owner is responsible for adjusting, relocating, or removing the access, without cost or liability to the Department, if the use or safety of the highway requires.

The Applicant/Owner, or their contractor, shall identify and coordinate with all Utilities that own, operate, or maintain facilities within the work area to relocate and/or adjust their facilities to accommodate the proposed improvements. The cost to relocate and/or adjust utility facilities shall be borne by the Applicant/Owner. Call 811 before performing any construction activities onsite.

The Owner will obtain all necessary Federal, State, and Municipal permits and licenses required by law. Note: for relocation or adjustment of any utility within State rights of way a Department of Transportation Utility Permit (or amendment as appropriate) is required.

The Owner will pay all taxes and special assessments lawfully imposed upon the permitted area and pay other fees and charges assessed under applicable law.

Placement of fill material in waters of the U.S., including wetlands and streams, requires prior authorization from the U.S. Army Corps of Engineers (USACE). It is the responsibility of the Owner to contact the USACE before filling activities take place.

The Owner will construct and maintain the driveway in such a manner that the highway, and all the highway's appurtenances or facilities, are not impaired or endangered in any way. These include drainage facilities, pipes, culverts, ditches, traffic control devices, streetlights, pathways, and sidewalks.

If, as a result of this project, any improvements within the State-owned rights of way are damaged, the Owner will be responsible for returning them to their previous condition.

No person will place, leave, or deposit upon any street, avenue, alley, sidewalk, or other public rights of way any snow or ice which has been removed from a private driveway, private parking area, or the adjacent property. The Owner is responsible for their snow removal contractor's actions concerning placement of snow from Owner's property.

The Owner will indemnify, defend, and hold harmless the State, and its officers, employees, and contractors, from any and all claims or actions resulting from injury, death, loss, or damage sustained by any person or personal property resulting directly or indirectly from Owner's use of or activities in the area.

No equipment or materials are permitted on the shoulder during non-working hours.

All litter and debris generated due to this project must be removed and properly disposed of by the contractor. The Owner will be responsible for all costs incurred by the State associated with clean up or restoration of the State rights of way.

If a culvert is required by this ATC, the following applies:

- Culvert length and ditch depth, as stipulated in the Design Criteria, are generally based on information supplied by the applicant, and must be verified on site during construction,
- Culvert and culvert ends must be installed at time of the driveway construction,
- Ensure a minimum ground cover of 12-inches is over the culvert prior to paving,
- Maintain existing drainage patterns.

The Owner will pave from the edge of pavement to the radius return or the distance stipulated by the Design Criteria “Landing length.” Prior to paving, saw-cut 12-inches from the edge of pavement and tack coat.

A permit for this driveway will be issued only after construction is complete and accepted by the Department of Transportation and Public Facilities.

Design Criteria:

A.	Driveway width	14	Feet
B.	Left edge clearance	70	Feet
C.	Right edge clearance	300	Feet
D.	Left return radius	20	Feet
E.	Right return radius	20	Feet
F.	Shoulder width	2	Feet
G.	Approach angle	90	Degrees
H.	Curb type	n/a	
I.	Curb to sidewalk distance	n/a	
J.	Left driveway foreslope	6:1	Or match existing
K.	Right driveway foreslope	6:1	Or match existing
L.	Culvert length	22	Feet (field fit)
M.	Landing grade	2	Percent
N.	Landing length	20	Feet
O.	Culvert size	18	Inches
P.	Culvert type	Corrugated Metal Pipe (CMP)	
Q.	Ditch depth	2	Feet
R.	Shoulder type	Gravel	
S.	Road surface type	Asphalt	
T.	Driveway surface type	Asphalt	

Traffic Control for Driveway Construction:

The Owner or their contractor shall obtain a Lane Closure Permit for any work that closes traffic lanes, roadway shoulder, or pathway/sidewalk.

Short term or short duration work within the right of way does not typically require a Lane Closure Permit provided it conforms to the table below:

	WORK ON THE SHOULDER	WORK BEYOND SHOULDER (ROADSIDE)
DURATION	Less than 1 hour	Less than one day
TIME OF DAY	Daylight conditions only	
BASIC TRAFFIC SAFETY REQUIREMENTS	Use high intensity rotating, flashing, oscillating or strobe light on top of all vehicles, visible for 700 feet or more in all directions. Wear orange work vests labeled as meeting ANSI/ISEA 107-2004 Class 2, with Level 2 retroreflective material.	
WORK EXAMPLES	Offloading equipment to the roadside. Matching paved driveway to edge of roadway pavement. Sweeping the roadway shoulder.	

Do not park equipment within 30 feet of the edge of traveled way or within 10 feet of a curb when not working.

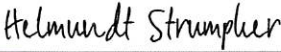
Special Conditions:

None Noted


Incorporated as part of this ATC:

- Site Plan

I, Helmundt Strumpher, the Tenant, acknowledge and accept that I will comply with all the provisions and conditions of this ATC.

DocuSigned by:

5C579E2FA4AD44B...
 Owner Signature

7/11/2024
 Date


 DOT&PF Signature

7/15/24
 Date

SITE NAME: SUTTON
PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY
TOWER TYPE: 125' SELF SUPPORT TOWER
SITE ADDRESS: UNASSIGNED ADDRESS MILE 58 RD SUTTON, AK 99645
AREA OF CONSTRUCTION: 9,155± SQ. FT. (L.O.D.A)
JURISDICTION: MATANUSKA SUSITNA BOROUGH
ZONING: UNKNOWN
PARCEL #: 7762000L002

ATLAS TOWER



SITE NAME:
SUTTON

**MILE 58 RD
 SUTTON, AK 99645
 (MATANUSKA SUSITNA BOROUGH)**

PLANS PREPARED BY:



4700 DAHLIA STREET
 DENVER, CO 80216
 OFFICE: (303) 566-9914
 www.tepgroup.net

PROJECT INFORMATION

LATITUDE N 61° 42' 09.793129" (NAD '83) *
LONGITUDE W 148° 58' 54.024660" (NAD '83) *
GROUND ELEVATION 843.29' (NAVD '88) *

* INFORMATION PROVIDED IN A SURVEY PERFORMED BY FARPOINT LAND SERVICES, LLC DATED APRIL 14, 2024.

SITE COORDINATES



LOCATION MAP

TAKE AVIATION AVE TO S CLAPP ST/S MACK DR, HEAD NORTHWEST ON CROSSWIND CT TOWARD AVIATION AVE, TURN RIGHT ONTO AVIATION AVE TAKE AK-3 S, E BOGARD RD, FISHHOOK-WILLOW RD/N PALMER-FISHHOOK RD AND AK-1 N TO MILE 58 RD IN SUTTON-ALPINE, TURN LEFT ONTO S CLAPP ST/S MACK DR, TURN RIGHT ONTO AK-3 S TURN LEFT ONTO N CRUSEY ST, CONTINUE STRAIGHT TO STAY ON N CRUSEY ST, TURN RIGHT ONTO E BOGARD RD AT THE ROUNDABOUT, TAKE THE 1ST EXIT AND STAY ON E BOGARD RD AT THE ROUNDABOUT, TAKE THE 3RD EXIT CONTINUE ONTO N TRUNK RD TURN RIGHT ONTO FISHHOOK-WILLOW RD/N PALMER-FISHHOOK RD, TURN LEFT ONTO AK-1 N DRIVE TO MILE 58 RD, TURN LEFT ONTO MILE 58 RD (SIGNS FOR PALMER CORRECTIONAL CTR) TURN RIGHT TO STAY ON MILE 58 RD DESTINATION WILL BE ON THE RIGHT.

DRIVING DIRECTIONS

CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING

(800) 662-4111

EMERGENCY:

CALL 911



Know what's below.
 Call before you dig.

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- INTERNATIONAL BUILDING CODE (2015 EDITION)
- INTERNATIONAL CODE COUNCIL
- CBC/TIA-222-G
- NATIONAL ELECTRIC CODE (2014 EDITION)
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

CODE COMPLIANCE

CONSTRUCTION OF A TELECOMMUNICATION FACILITY, CONSISTING OF ANTENNAS & ASSOCIATED APPURTENANCES ON A PROPOSED SELF SUPPORT TOWER, FENCED COMPOUND & SERVICE EQUIPMENT FOR FUTURE CARRIERS. NO WATER OR SEWER IS REQUIRED.

- FACILITY DESIGNED IN ACCORDANCE WITH MATANUSKA-SUSITNA BOROUGH REGULATIONS.
- THIS IS AN UNMANNED FACILITY WHICH WILL NOT REQUIRE ANY WATER OR SEWER FACILITIES.
- TRAFFIC WILL CONSIST ONLY OF MAINTENANCE PERSONNEL, VISITING THE SITE APPROXIMATELY TWICE A MONTH.

PROJECT DESCRIPTION & NOTES

SITE CONSTRUCTION MANAGER:

NAME: WIBLUE, INC.
CONTACT: COREY BONNER
PHONE: (986) 206-7071

SITE APPLICANT:

NAME: WIBLUE, INC
ADDRESS: 2500 30TH STREET, SUITE 304
CITY, STATE, ZIP: BOULDER, CO 80301
CONTACT: SANDRA LAYTON
PHONE: (801) 732-0624

ORIGINAL SURVEYOR:

NAME: FARPOINT LAND SERVICES, LLC
ADDRESS: 1131 E 76TH AVE, SUITE 101
CITY, STATE, ZIP: ANCHORAGE, AK 99518
PHONE: (907) 522-7770

CIVIL ENGINEER:

NAME: TEP OPCO, LLC
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: ANDREW HALDANE, P.E.
PHONE: (919) 661-6351

ELECTRICAL ENGINEER:

NAME: TEP OPCO, LLC
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603
CONTACT: ANDREW HALDANE, P.E.
PHONE: (919) 661-6351

PROPERTY OWNER:

NAME: CHARLES HOUSE & SONYA WOODWORTH-HOUSE
ADDRESS: PO BOX 271
CITY, STATE, ZIP: PALMER, AK 99645-0271

UTILITIES:

POWER COMPANY: T.B.D.
ADDRESS: UNKNOWN
METER # NEAR SITE: T.B.D.

FACILITY OWNER:

NAME: ATLAS TOWER 1, LLC
ADDRESS: 2500 30TH STREET, SUITE 304
CITY, STATE, ZIP: BOULDER, CO 80301

CONTACT INFORMATION

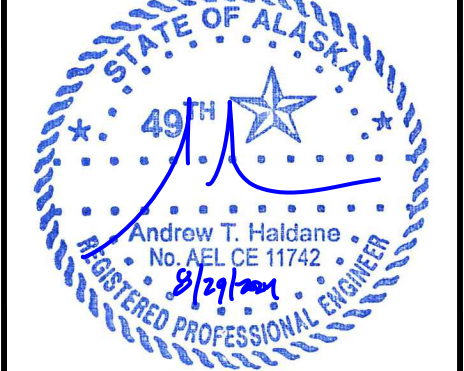
SHEET	DESCRIPTION	REV
T1	TITLE SHEET	1
N1	GENERAL NOTES	0
C1	AREA PLAN	0
C2	SITE PLAN	0
C3	COMPOUND DETAIL	0
C4	TOWER ELEVATION	0
C5	FENCE DETAILS	0
C6	SOIL & EROSION CONTROL PLAN	1
C6A	SILT FENCE DETAILS	0
C7	DRIVEWAY DETAILS	0
C8	SIGNAGE DETAILS	0
E1	ELECTRICAL NOTES	0
E2	POWER PLAN & ONE-LINE DIAGRAM	0
E3	SERVICE RACK DETAILS	0
E4	GROUNDING PLAN & DETAILS	0
E5	GROUNDING DETAILS	0
E6	TOWER FOUNDATION GROUNDING DETAILS	0

INDEX OF SHEETS

REV	DATE	ISSUED FOR:
I	08-29-24	CONSTRUCTION
O	07-11-24	CONSTRUCTION

DRAWN BY: MKB CHECKED BY: NMC

SEAL:



SEAL:

SHEET NUMBER:

T-1

REVISION:

1

TEP#: 338102.423058

GENERAL NOTES:

- ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED ATLAS 1, LLC, OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF ALASKA.
- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA/EIA-222-H. THIS CONFORMS TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2015 EDITION.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2015 EDITION.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL STEEL NOTES:

- THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992 GR50.
 - ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.
 - ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.
 - ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
- HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.
- REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTED; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
- A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
- ALL ASSEMBLY BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
- FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
- DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
- PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
- GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
- WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE - STEEL.

PROJECT INFORMATION:

SUTTON

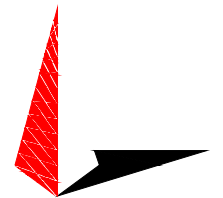
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

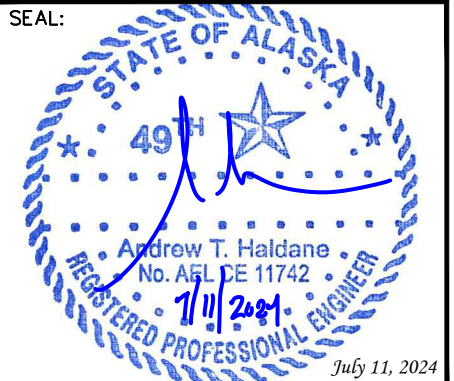
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:



0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES | CHECKED BY: ARB

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER: N-1	REVISION: 0 TEP#:338102.423058
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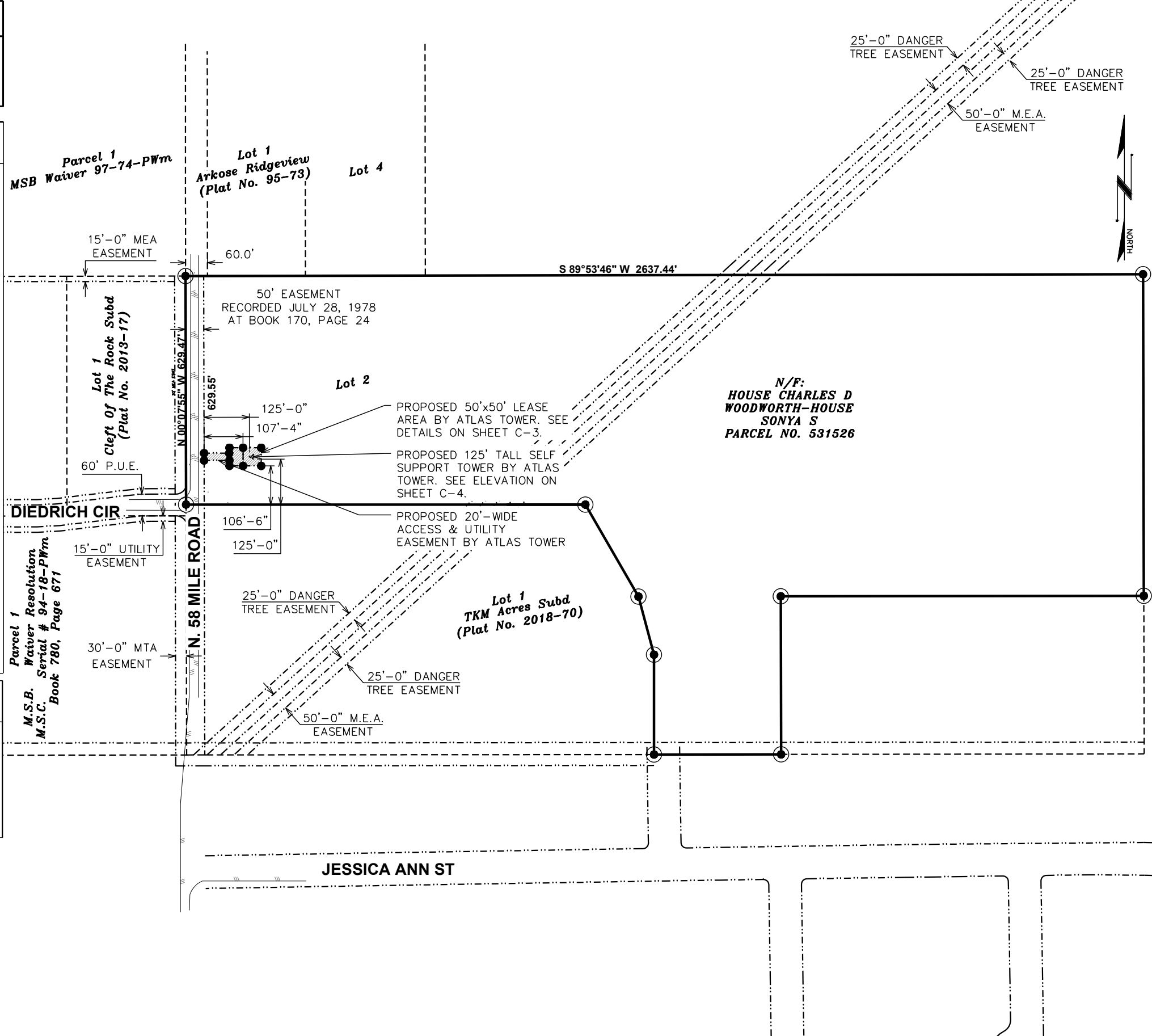
SITE COORDINATES	
LATITUDE:	N 61° 42' 09.793129" (NAD '83)
LONGITUDE:	W 148° 58' 54.024660" (NAD '83)
GROUND ELEVATION:	843.29'± (AMSL NAVD '88)

LEGEND	
	PARENT PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPERTY CORNER
	EASEMENT/LEASE CORNER
	EXIST. TRANSFORMER
	EXIST. UTILITY POLE
	EXIST. LIGHT POLE
	EXIST. TELCO PEDESTAL
	EXIST. METER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	BURIED FIBER
	GAS LINE
	RIGHT-OF-WAY
	FENCE
	EXISTING TREE LINE

TOWER SETBACKS		
PROPERTY LINE	REQUIRED	PROPOSED
NORTH	125'-0"	491'-9"±
EAST	125'-0"	2450'-10"±
SOUTH	125'-0"	125'-0"±
WEST	125'-0"	175'-0"±

- NOTES:**
- BEARINGS AND DISTANCES ARE RECORD PER REFERENCED PLAT UNLESS OTHERWISE NOTED.
 - ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
 - THE TOWER IS LOCATED IN ZONE "X" COMMUNITY PANEL FLOODPLAIN ACCORDING TO FEMA FLOOD MAP 0200218925C, DATED MAY 1, 1985.

AREA PLAN
SCALE: 1" = 300'



PROJECT INFORMATION:
SUTTON
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:
ATLAS TOWER
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

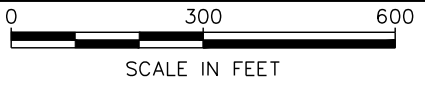
SEAL:

REV	DATE	ISSUED FOR:
0	07-11-24	CONSTRUCTION

DRAWN BY: MKB | CHECKED BY: NMC

SHEET TITLE:
AREA PLAN

SHEET NUMBER:	REVISION:
C-1	0
TEP#:338102.423058	



LEGEND

- PARENT PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ⊙ PROPERTY CORNER
- EASEMENT/LEASE CORNER
- ☑ EXIST. TRANSFORMER
- ⊕ EXIST. UTILITY POLE
- ☼ EXIST. LIGHT POLE
- Ⓜ EXIST. TELCO PEDESTAL
- Ⓜ EXIST. METER
- - 4650 - - EXIST. CONTOUR LINE
- ▨ EDGE OF PAVEMENT
- - OHW - - OVERHEAD WIRE
- - - F - - BURIED FIBER
- - - G - - GAS LINE
- - R/W - - RIGHT-OF-WAY
- X - FENCE
- ⌋ EXISTING TREE LINE

Lot 1
Cleft Of The Rock Subd
(Plat No. 2013-17)

N/F:
HOUSE CHARLES D
WOODWORTH-HOUSE
SONYA S
PARCEL NO. 531526



N. 58 MILE ROAD

N. 58 MILE ROAD

DIEDRICH CIR

50' EASEMENT
RECORDED JULY 28, 1978
AT BOOK 170, PAGE 24

PROPOSED PARKING
SPACES & TURNAROUND
BY ATLAS TOWER

PROPOSED CULVERT
BY ATLAS TOWER. SEE
DETAIL ON SHEET C-7.

PROPOSED 14'-WIDE
GRAVEL ACCESS DRIVE
BY ATLAS TOWER. SEE
DETAILS ON SHEET C-7.

PROPOSED 20'-WIDE ACCESS &
UTILITY EASEMENT BY ATLAS TOWER

PROPOSED PARKING
SPACES & TURNAROUND
BY ATLAS TOWER

PROPOSED VEGETATION
CLEARING LINE

PROPOSED 50'x50' LEASE
AREA BY ATLAS TOWER. SEE
DETAILS ON SHEET C-3.

PROPOSED 125' TALL SELF
SUPPORT TOWER BY ATLAS
TOWER. SEE ELEVATION ON
SHEET C-4.

60' P.U.E.

15'-0" UTILITY
EASEMENT

30'-0" MTA
EASEMENT

125'-0"

107'-4"

106'-6"

125'-0"

PROJECT INFORMATION:

SUTTON

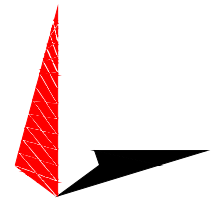
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:



0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

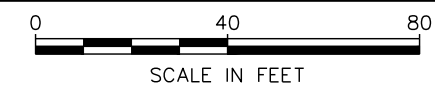
DRAWN BY: MKB CHECKED BY: NMC

SHEET TITLE:
SITE PLAN

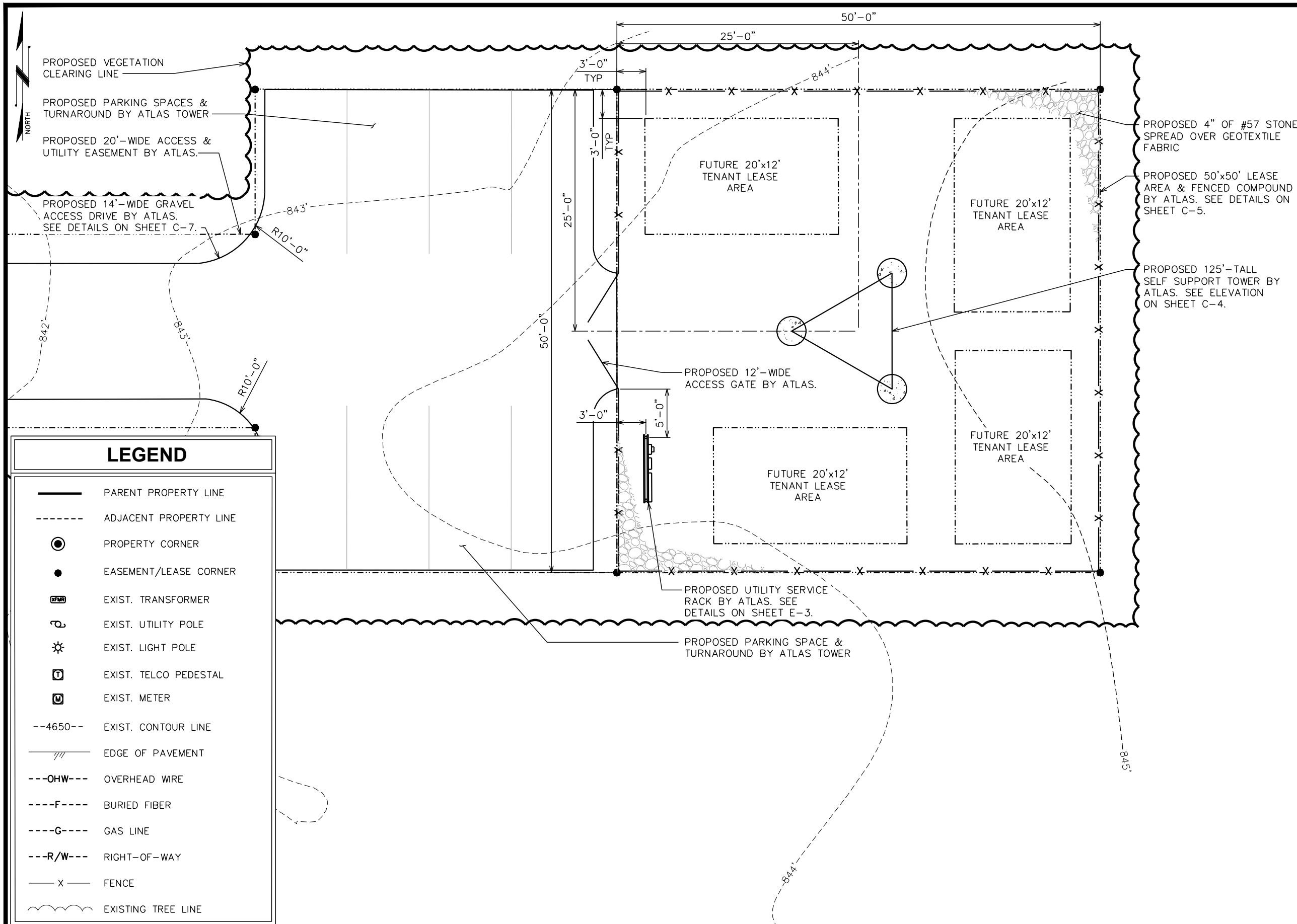
SHEET NUMBER: C-2	REVISION: 0
TEP#: 338102.423058	

SITE PLAN

SCALE: 1" = 40'

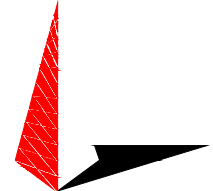


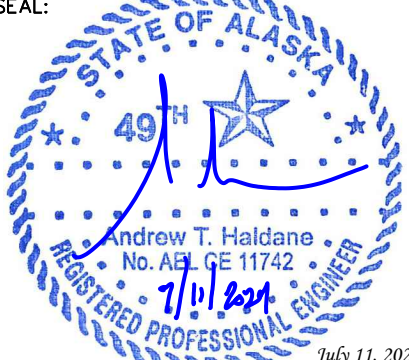
SCALE IN FEET



PROJECT INFORMATION:
SUTTON
 MILE 58 RD
 SUTTON, AK 99645
 (MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:
ATLAS TOWER
 2500 30TH ST, SUITE 304
 BOULDER, CO 80301
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 4700 DAHLIA STREET
 DENVER, CO 80216
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 www.tepgroup.net

SEAL:


0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES | CHECKED BY: NMC

SHEET TITLE:
COMPOUND DETAIL

SHEET NUMBER:
C-3

REVISION:
0
 TEP#:338102.423058

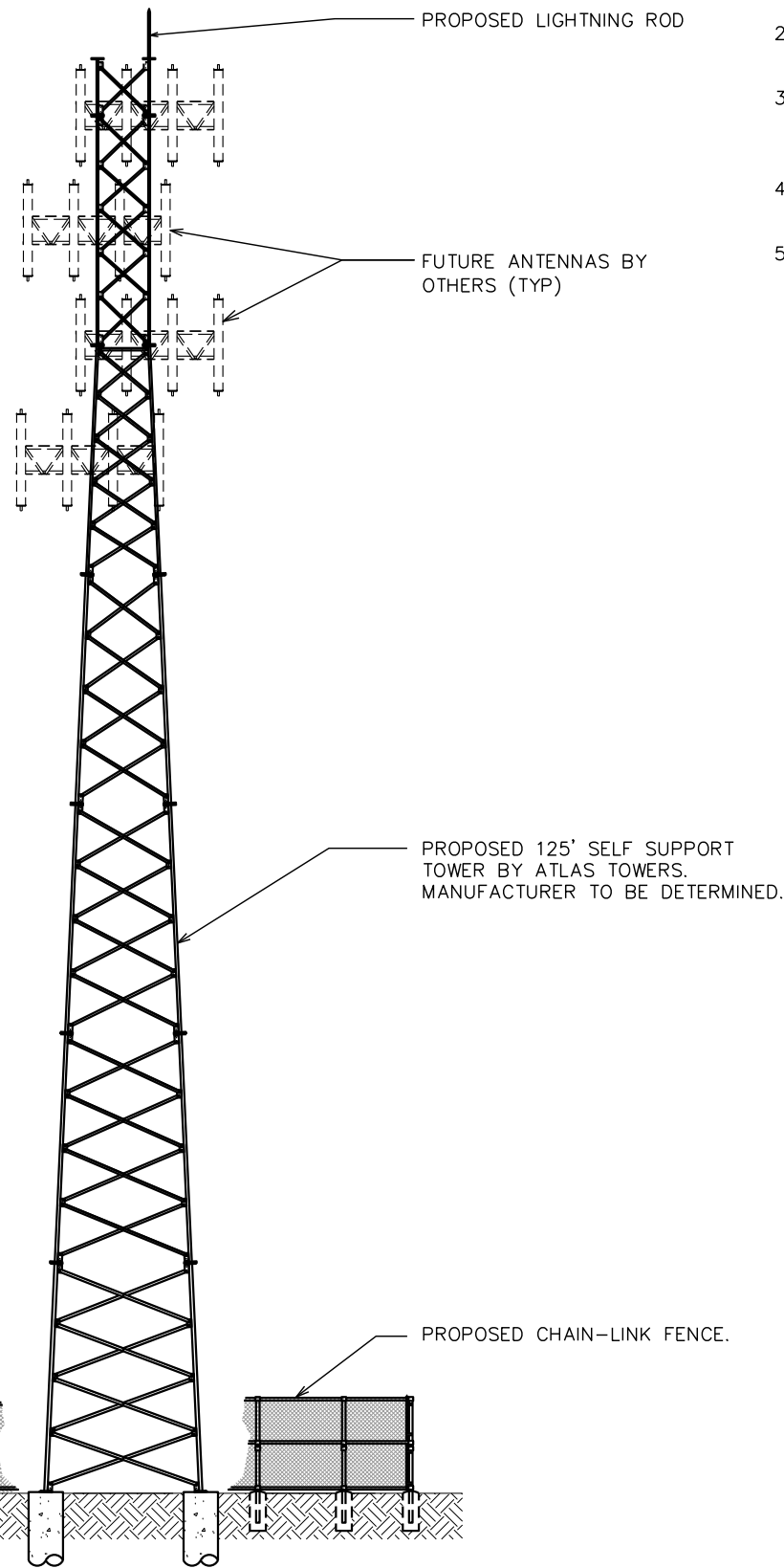
LEGEND

	PARENT PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPERTY CORNER
	EASEMENT/LEASE CORNER
	EXIST. TRANSFORMER
	EXIST. UTILITY POLE
	EXIST. LIGHT POLE
	EXIST. TELCO PEDESTAL
	EXIST. METER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	BURIED FIBER
	GAS LINE
	RIGHT-OF-WAY
	FENCE
	EXISTING TREE LINE

COMPOUND DETAIL
 SCALE: 1" = 10'



- 129'-0"±
T/LIGHTNING ROD
- 125'-0"±
T/TOWER
- 120'-0"±
CL/ GCI ANTENNAS
- 110'-0"±
CL/ FUTURE ANTENNAS
- 100'-0"±
CL/ FUTURE ANTENNAS
- 90'-0"±
CL/ FUTURE ANTENNAS



0'-0" (REF)
T/ GRADE

NOTES:

1. TOWER TO REMAIN A GALVANIZED COLOR.
2. TOWER SHALL BE LIT ONLY IF REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION.
3. PROPOSED COAX TO BE ROUTED UP WAVEGUIDE LADDER. (PROVIDED BY TOWER MANUFACTURER)
4. TOWER TO INCLUDE SAFETY CABLE. DO NOT INCLUDE SAFETY CLIMB MECHANISM.
5. TOWER EQUIPMENT LOADING AND CENTERLINES ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGE.

PROJECT INFORMATION:

SUTTON

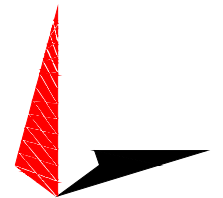
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

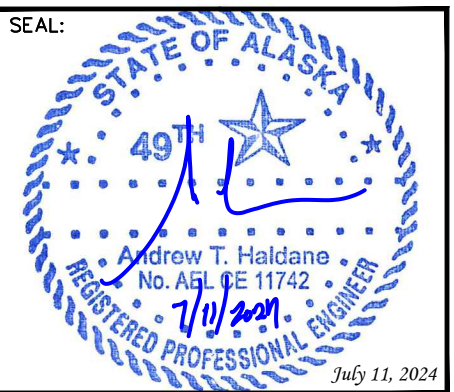
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:



REV	DATE	ISSUED FOR:
0	07-11-24	CONSTRUCTION

DRAWN BY: MKB CHECKED BY: NMC

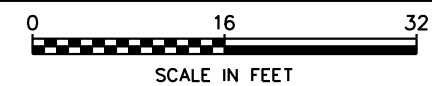
SHEET TITLE:

TOWER ELEVATION

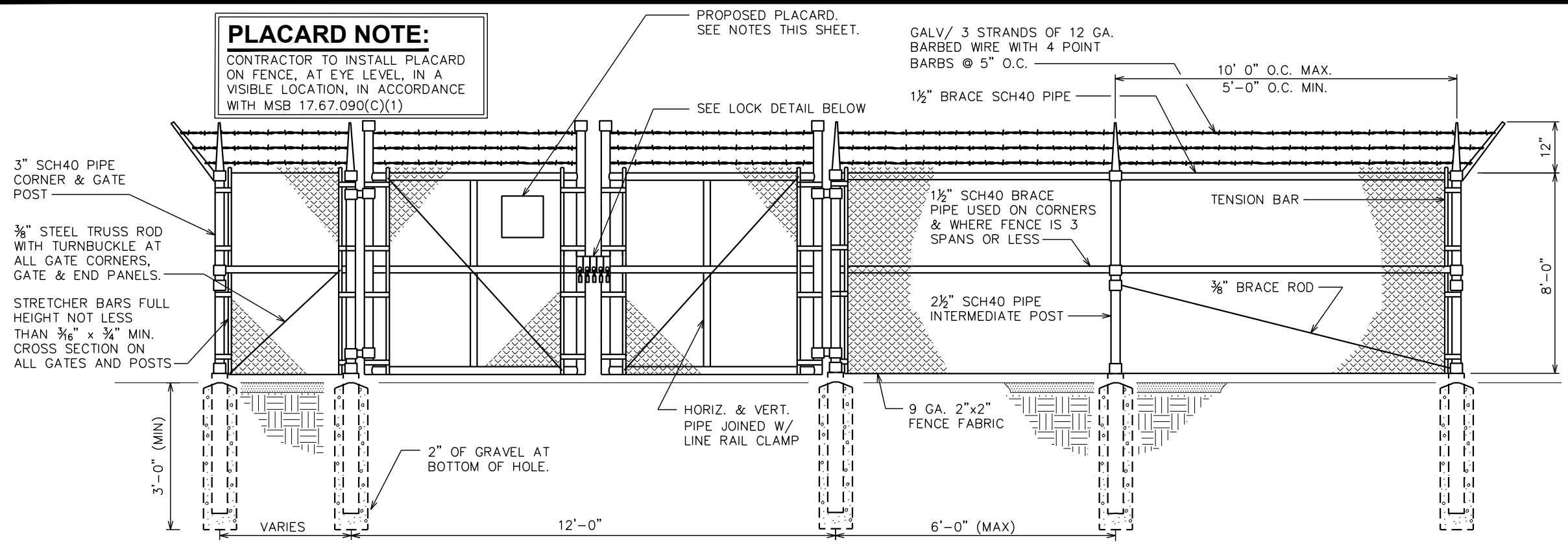
SHEET NUMBER: C-4	REVISION: 0 TEP#:338102.423058
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TOWER ELEVATION

SCALE: 1/8" = 1'-0"



PLACARD NOTE:
 CONTRACTOR TO INSTALL PLACARD ON FENCE, AT EYE LEVEL, IN A VISIBLE LOCATION, IN ACCORDANCE WITH MSB 17.67.090(C)(1)

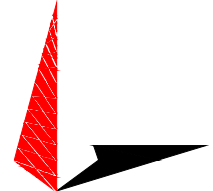


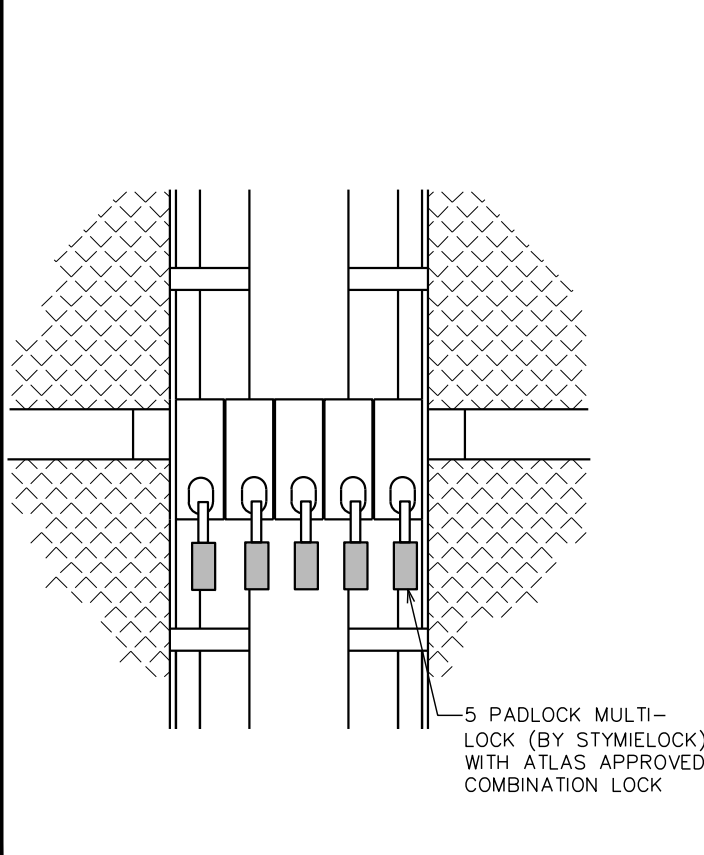
TYPICAL FENCE ELEVATION

SCALE: N.T.S.

PROJECT INFORMATION:
SUTTON
 MILE 58 RD
 SUTTON, AK 99645
 (MATANUSKA SUSITNA BOROUGH)

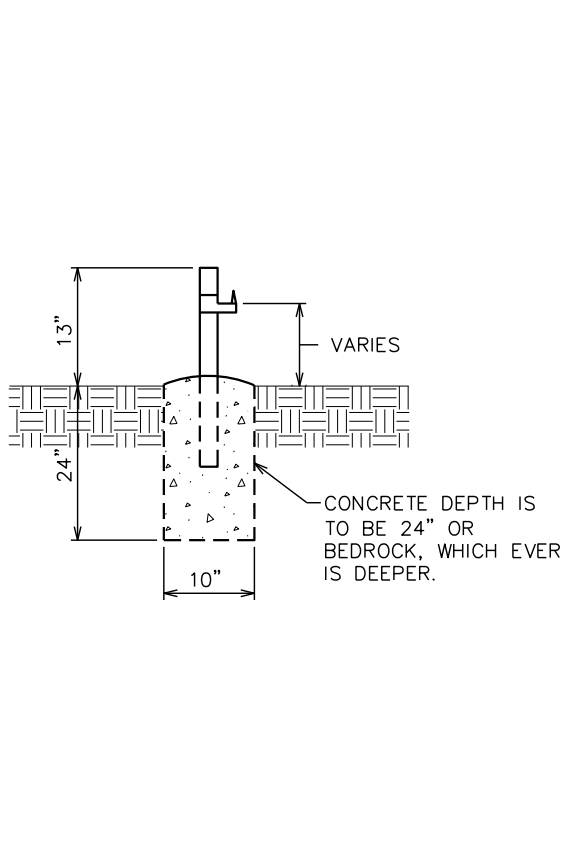
PLANS PREPARED FOR:
ATLAS TOWER
 2500 30TH ST, SUITE 304
 BOULDER, CO 80301
 Office: (303) 448-8896

PLANS PREPARED BY:

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 4700 DAHLIA STREET
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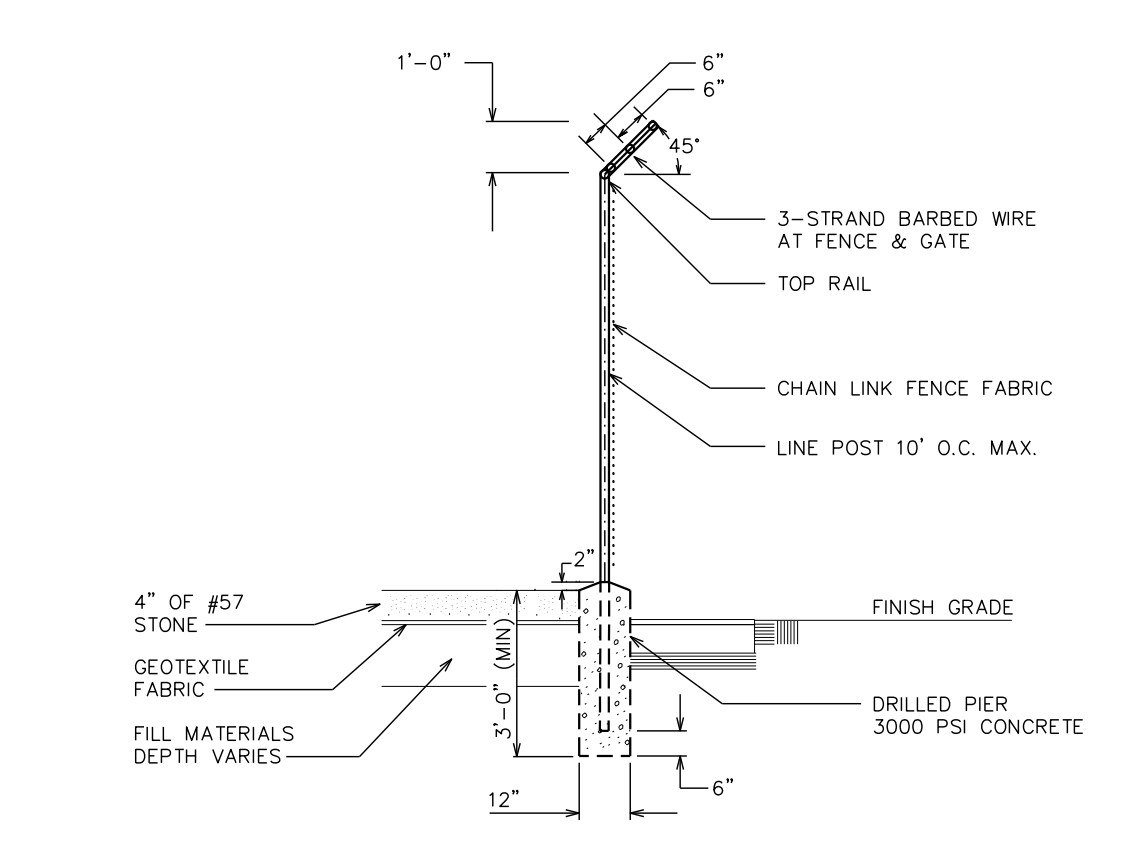
GATE LOCK DETAIL

SCALE: N.T.S.



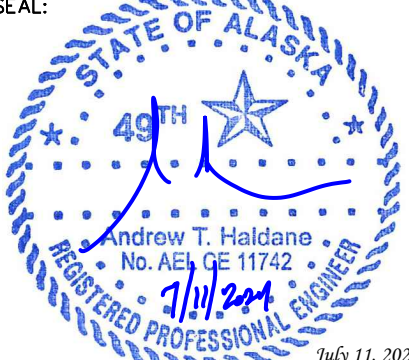
GATE STOP/KEEPER DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

SEAL:


0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: MKB CHECKED BY: NMC

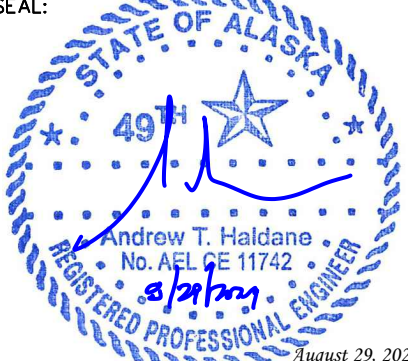
SHEET TITLE:
FENCE DETAILS

SHEET NUMBER: **C-5** REVISION: **0**
 TEP#: 338102.423058

PROJECT INFORMATION:
SUTTON
 MILE 58 RD
 SUTTON, AK 99645
 (MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:
ATLAS TOWER
 2500 30TH ST, SUITE 304
 BOULDER, CO 80301
 Office: (303) 448-8896

PLANS PREPARED BY:
TEP
 4700 DAHLIA STREET
 DENVER, CO 80216
 OFFICE: (303) 566-9914
 www.tepgroup.net

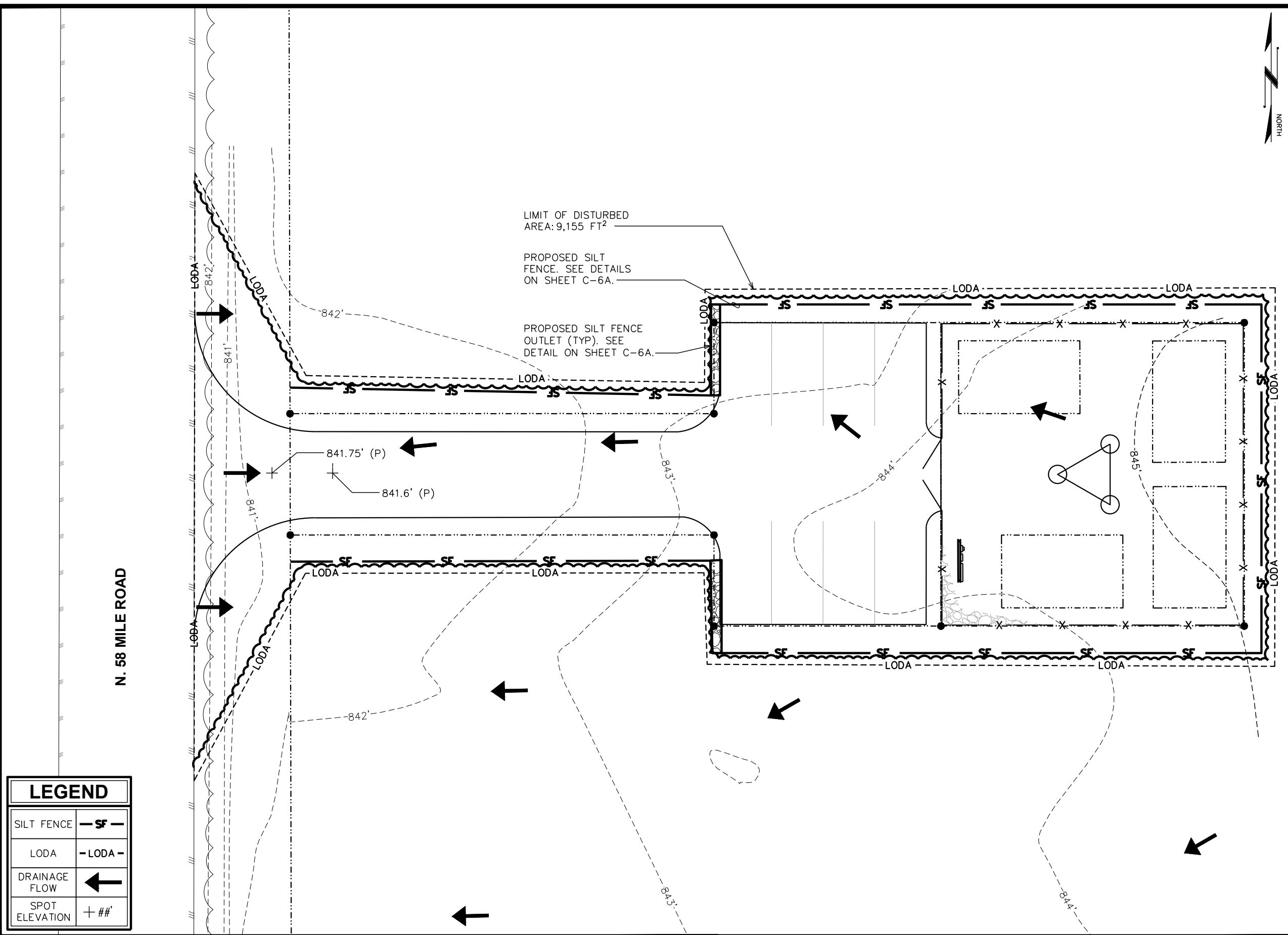
SEAL:

 Andrew T. Haldane
 No. AEL CE 11742
 REGISTERED PROFESSIONAL ENGINEER
 August 29, 2024

1	08-29-24	CONSTRUCTION
0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES | CHECKED BY: KES

SHEET TITLE:
SOIL EROSION CONTROL PLAN

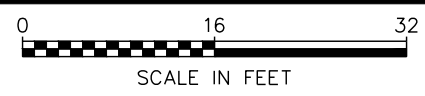
SHEET NUMBER: **C-6** | REVISION: **1**
 TEP#: 338102.423058



LEGEND

SILT FENCE	- SF -
LODA	- LODA -
DRAINAGE FLOW	←
SPOT ELEVATION	+ ##'

GRADING & SOIL EROSION CONTROL PLAN
 SCALE: 1/6" = 1'-0"

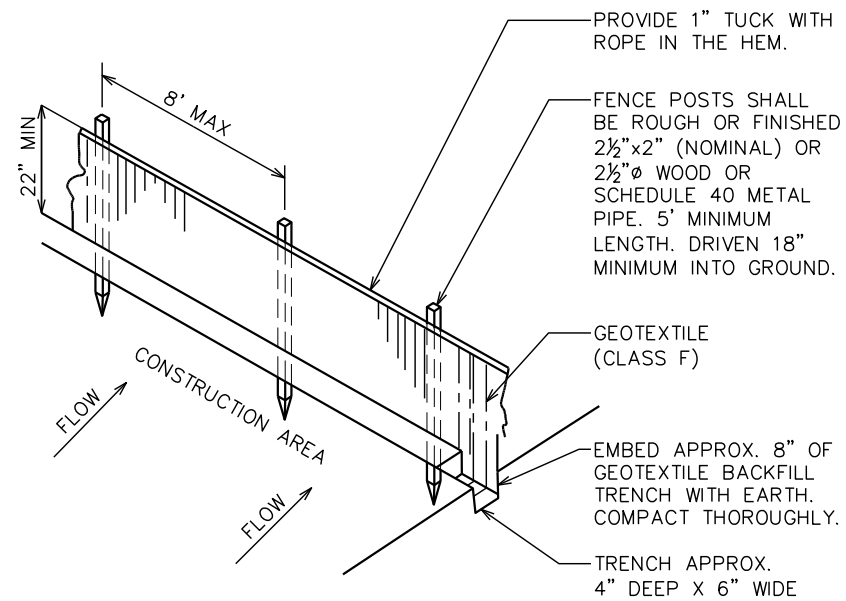


SITE GRADING NOTES:

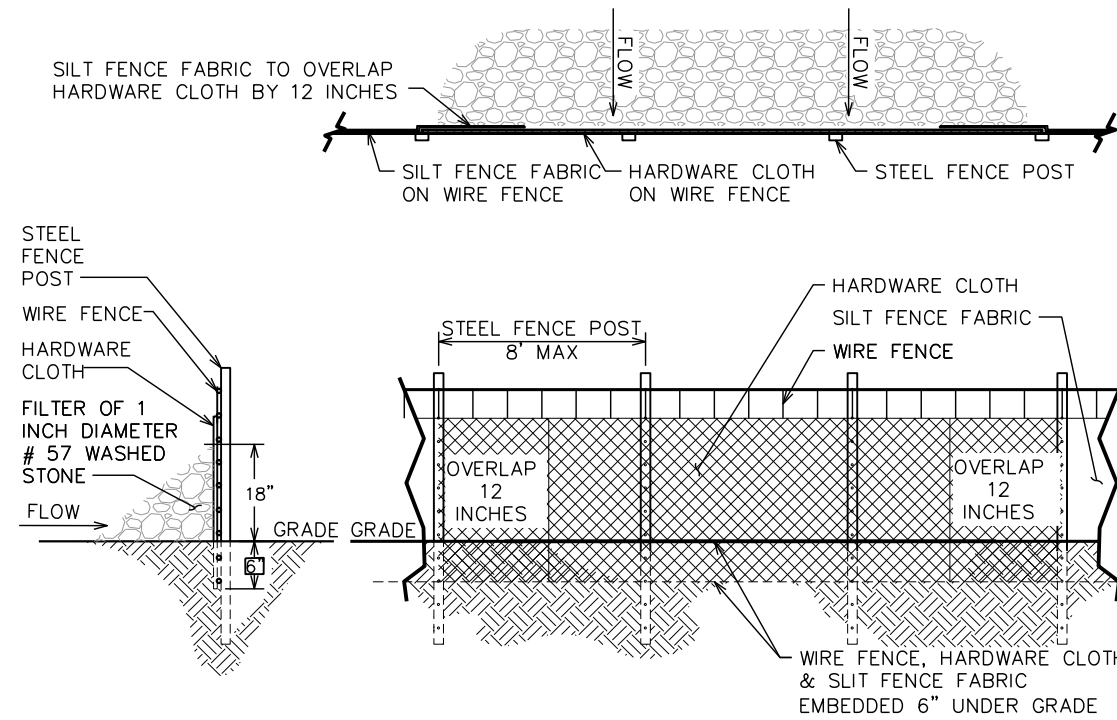
1. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. TEMPORARY SEEDING OR OTHER STABILIZATION, INCLUDING GRAVEL COVER ON ANY NEW ACCESS ROAD, WILL FOLLOW IMMEDIATELY AFTER GRADING.
3. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
4. AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY E&S CONTROLS WILL BE CLEANED UP AND REMOVED.

GEOTEXTILE FABRIC NOTES:

1. GEOTEXTILE FABRIC TO BE FASTENED SECURELY TO FENCE POST BY USE OF WIRE TIES OR HOG RINGS. 3 FASTENERS PER POST.
2. ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE SHALL BE SECURELY FASTENED TO A COMMON POST OR OVERLAPPED 3' (MINIMUM).
3. THIS DEVICE IS INTENDED TO CONTROL SHEET FLOW ONLY. IT WILL NOT BE USED IN AREAS OF CONCENTRATED FLOW WITH A DRAINAGE AREA OF 1/2 ACRE OR MORE.



SILT FENCE



SILT FENCE OUTLET

PROJECT INFORMATION:

SUTTON

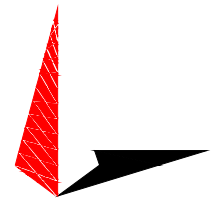
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

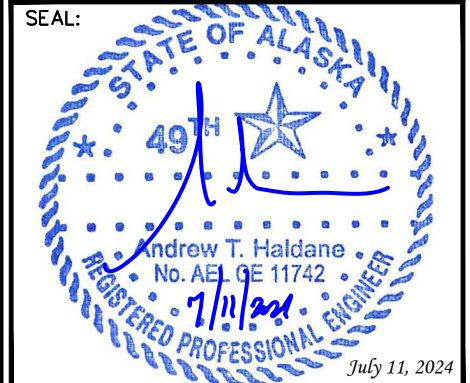
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:



REV	DATE	ISSUED FOR:
0	07-11-24	CONSTRUCTION

DRAWN BY: _____ CHECKED BY: _____

SHEET TITLE: _____

SILT FENCE DETAIL

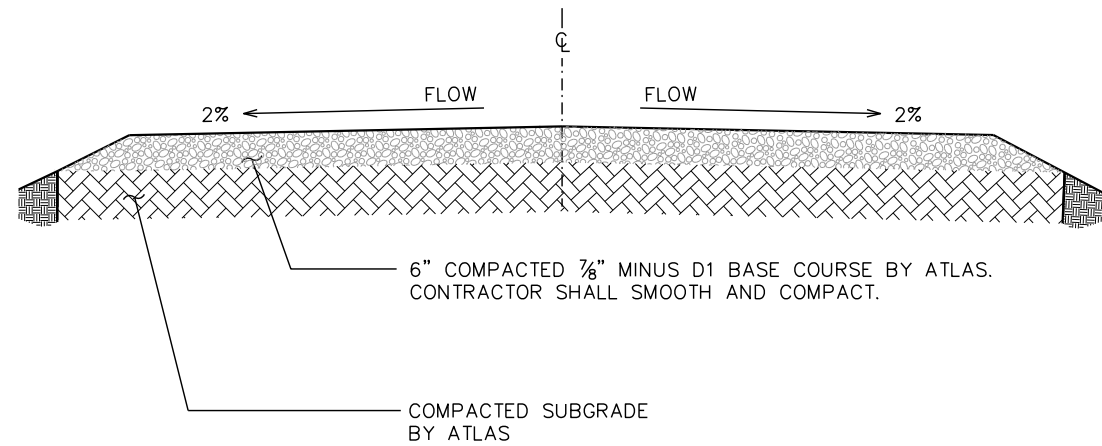
SHEET NUMBER:	REVISION:
C-6A	0
TEP#: 338102.423058	

SILT FENCE DETAIL

N.T.S.

NOTE:

ROAD TO BE DESIGNED IN ACCORDANCE WITH M.S.B. 11.12.060 LOW VOLUME DRIVEWAY STANDARDS

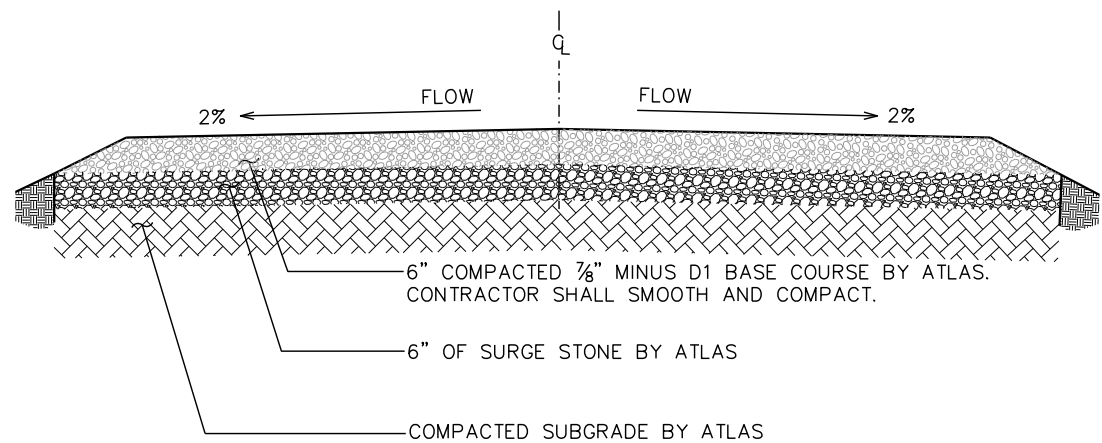


STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: 3/8" = 1'-0"

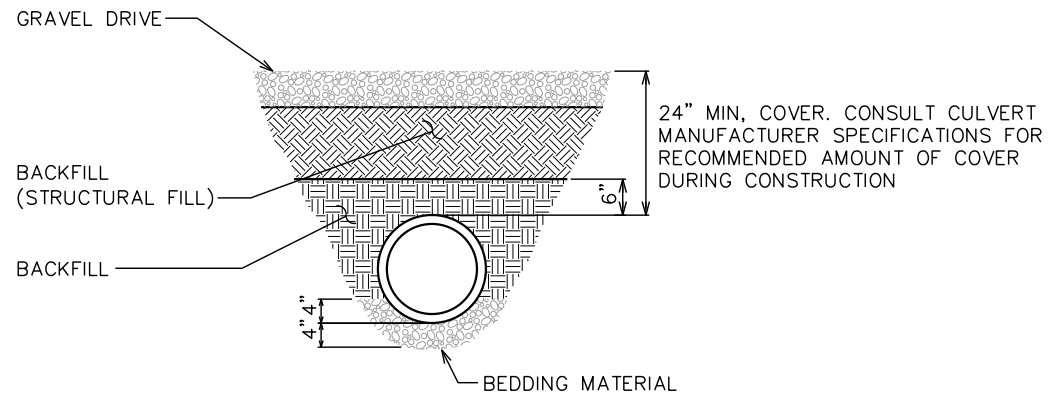
NOTE:

ROAD TO BE DESIGNED IN ACCORDANCE WITH M.O.A. 11.12.060 LOW VOLUME DRIVEWAY STANDARDS



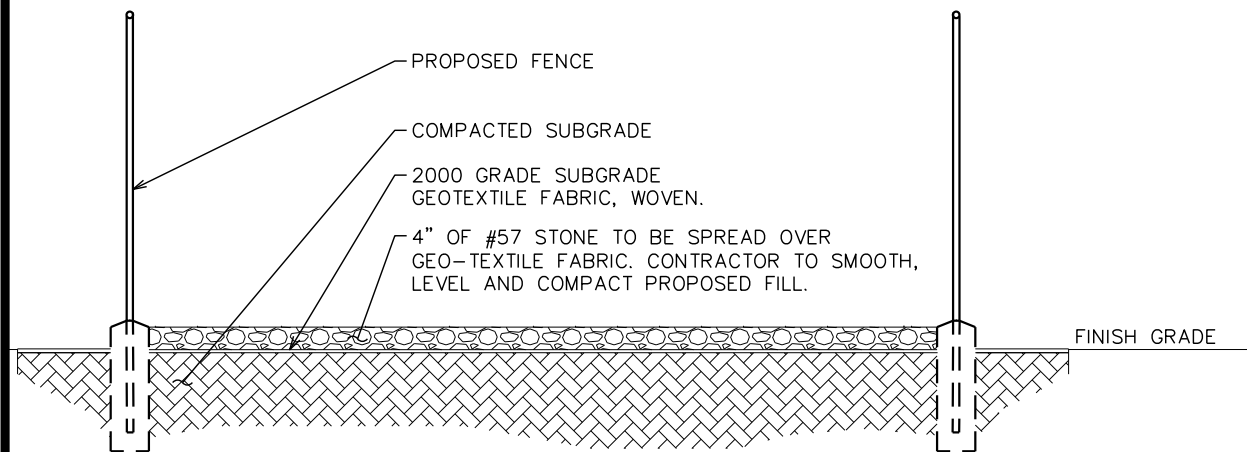
STANDARD ROAD SECTION (POOR SUBGRADE)

SCALE: 3/8" = 1'-0"



CULVERT DETAILS

SCALE: N.T.S.



COMPOUND SECTION VIEW

SCALE: N.T.S.

PROJECT INFORMATION:

SUTTON

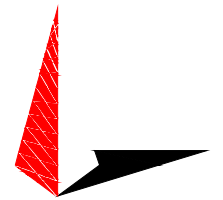
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

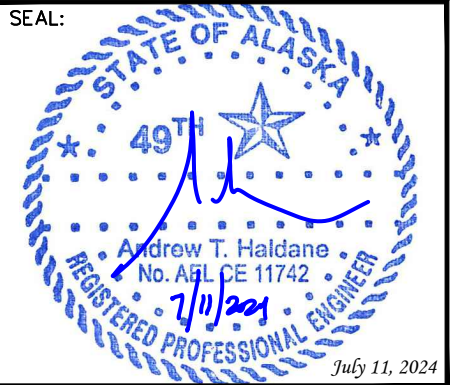
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



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4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
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SEAL:



0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: _____ CHECKED BY: _____

SHEET TITLE:

DRIVEWAY DETAILS

SHEET NUMBER:	REVISION:
C-7	0
TEP#: 338102.423058	

NOTES:

- ALL SIGNS TO BE HUNG ON FENCE USING HOG RINGS OR ALUMINUM FENCE TIES. ZIP TIES OR REBAR WIRE WILL NOT BE ACCEPTABLE
- THE RED WARNING SIGN SHALL BE PLACED ON THE TOWER, IDEALLY AT THE BASE OF THE SAFETY CLIMB.

NOTICE
GUIDELINES FOR WORKING IN
RADIOFREQUENCY ENVIRONMENTS

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owners and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shields during normal operation.
- ⚠ Do not operate base station antennas in equipment room.

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NOTICE

Transmitting Antenna(s)

Radio frequency fields beyond this point **MAY EXCEED** the FCC General Population exposure limit

Obey all posted signs and site guidelines.

STATE: _____ SWITCH: _____

SITE ID: _____

SECTOR / NODE: _____

ATLAS TOWER

SITE NAME: Sutton

FCC ASR # _____

FOR LEASING AND ACCESS INFORMATION CALL:
(303) 445-8896

WARNING

Transmitting Antenna(s)

Radio frequency fields beyond this point **EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines.

STATE: _____ SWITCH: _____

SITE ID: _____

SECTOR / NODE: _____

PROJECT INFORMATION:

SUTTON

MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

2500 30TH ST, SUITE 304
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SEAL:

0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES | CHECKED BY: KES

SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER: **C-8** | REVISION: **0**

TEP#: 338102.423058

SIGNAGE DETAILS

ELECTRICAL NOTES:

SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:

A. THE NATIONAL ELECTRICAL SAFETY CODE	D. LOCAL AND STATE AMENDMENTS
B. THE NATIONAL ELECTRIC CODE – NFPA-70	E. THE INTERNATIONAL ELECTRIC CODE –
C. REGULATIONS OF THE SERVING UTILITY COMPANY	IEC (WHERE APPLICABLE)
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. WHERE INSTALLED ON EXTERIOR STRUCTURES OR EXPOSED TO DAMAGE, THE CONDUIT SHALL BE RIGID STEEL.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
 - A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
 - B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
 - C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
 - D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A – AMPERE	PNLBD – PANELBOARD	
AFG – ABOVE FINISHED GRADE	PVC – RIGID NON-METALLIC CONDUIT	
ATS – AUTOMATIC TRANSFER SWITCH	RGS – RIGID GALVANIZED STEEL CONDUIT	
AWG – AMERICAN WIRE GAUGE	SW – SWITCH	
BCW – BARE COPPER WIRE	TGB – TOWER GROUND BAR	
BFG – BELOW FINISHED GRADE	UL – UNDERWRITERS LABORATORIES	
BKR – BREAKER	V – VOLTAGE	
C – CONDUIT	W – WATTS	
CKT – CIRCUIT	XFMR – TRANSFORMER	
DISC – DISCONNECT	XMTR – TRANSMITTER	
EGR – EXTERNAL GROUND RING		
EMT – ELECTRIC METALLIC TUBING		
FSC – FLEXIBLE STEEL CONDUIT		
GEN – GENERATOR		
GPS – GLOBAL POSITIONING SYSTEM		
GRD – GROUND		
IGB – ISOLATED GROUND BAR		
IGR – INTERIOR GROUND RING (HALO)		
KW – KILOWATTS		
NEC – NATIONAL ELECTRIC CODE		
PCS – PERSONAL COMMUNICATION SYSTEM		
PH – PHASE		
PNL – PANEL		

	-----E----- UNDERGROUND ELECTRICAL CONDUIT	
	-----T----- UNDERGROUND TELEPHONE CONDUIT	
	KILOWATT-HOUR METER	
	----- UNDERGROUND BONDING AND GROUNDING CONDUCTOR.	
	⊘ GROUND ROD	
	● CADWELD	
	⊗ GROUND ROD WITH INSPECTION WELL	

PROJECT INFORMATION:

SUTTON

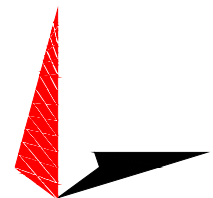
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

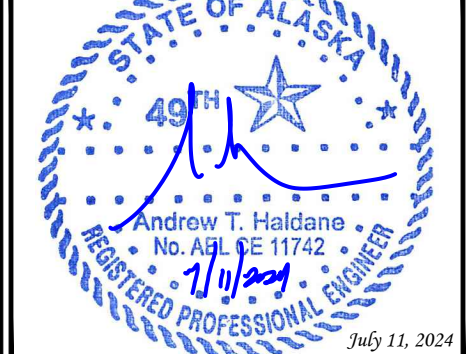
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:



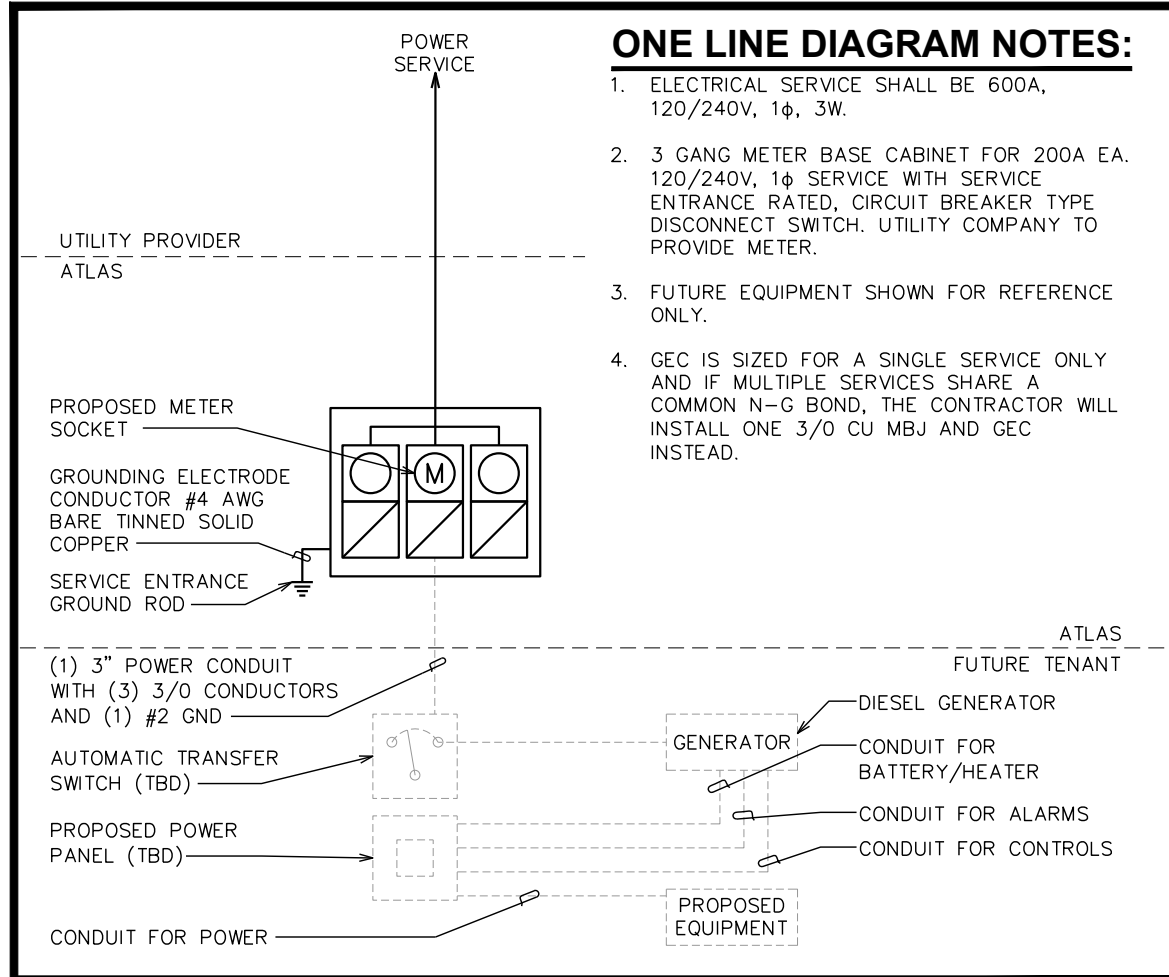
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REV	DATE	ISSUED FOR:					

DRAWN BY: KES | CHECKED BY: NMC

SHEET TITLE:

ELECTRICAL NOTES

SHEET NUMBER: E-1	REVISION: 0
TEP#:338102.423058	



DRAWING NOTES:

- 3-GANG METER BASE WITH BREAKER TYPE DISCONNECT
- NEMA RATED POWER SERVICE ENTRY

NOTES:

- ALL TELCO CONDUITS ARE TO BE STUBBED IN D-MARC LOCATION.
- ALL POWER CONDUITS ARE TO BE TERMINATED AT THE METER CENTER.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL CONDUITS SHALL BE INSTALLED PRIOR TO FINISH GRADING, GEOFABRIC, AND STONE INSTALLATION.
- CONTRACTOR SHALL INSTALL SWEEPS AT ALL CONDUIT DIRECTION CHANGES.

PROJECT INFORMATION:

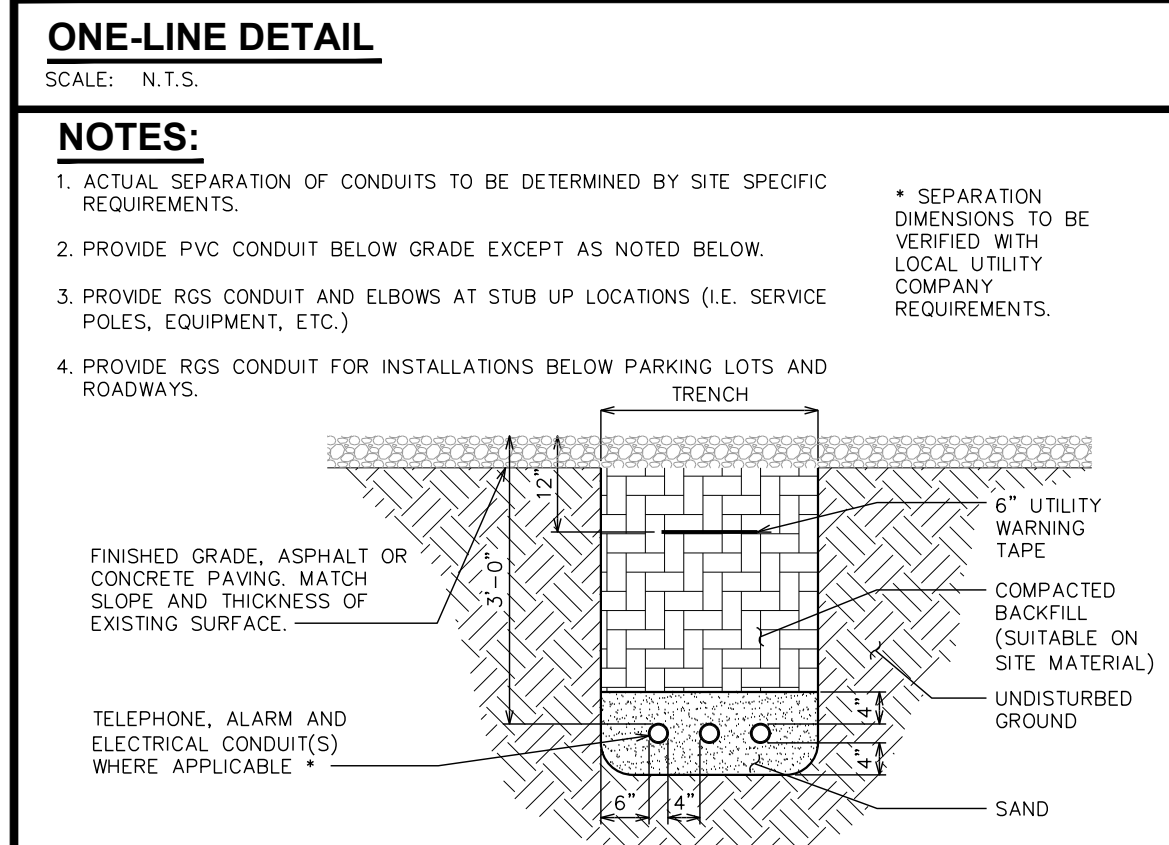
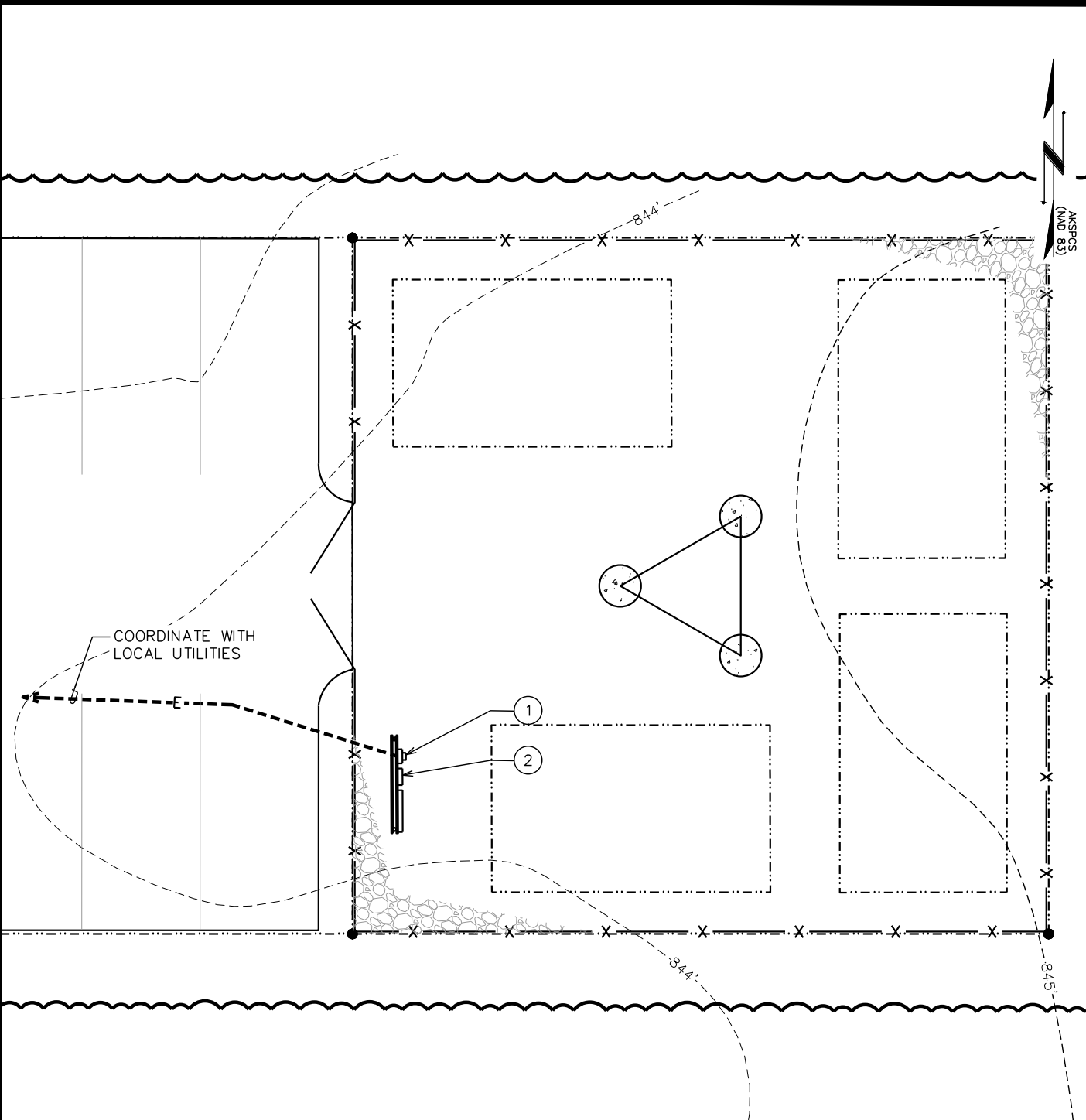
SUTTON

MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

2500 30TH ST, SUITE 304
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Office: (303) 448-8896



PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
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www.tepgroup.net

SEAL:

Andrew T. Haldane
No. AE 11742
REGISTERED PROFESSIONAL ENGINEER
July 11, 2024

0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES CHECKED BY: NMC

SHEET TITLE:

POWER PLAN AND ONE-LINE DIAGRAM

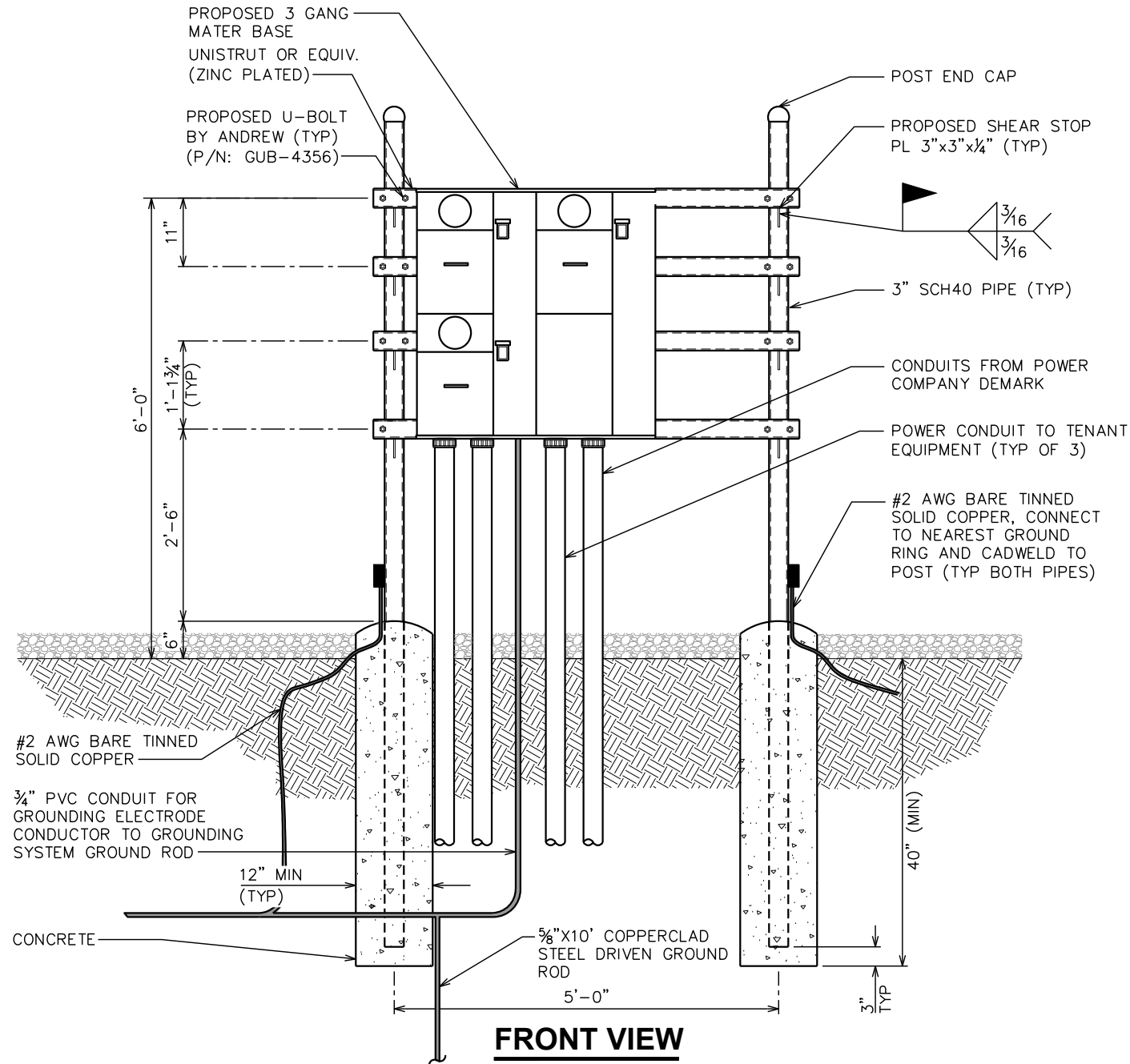
SHEET NUMBER: **E-2**

REVISION: **0**

TEP#: 338102.423058

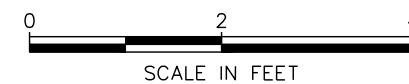
NOTES:

- ① REFER TO THE SITE LAYOUT PLAN FOR THE EXACT LOCATION OF THE H-FRAME.
- ② CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- ③ UTILITY COMPANY TO PROVIDE AND INSTALL METER SOCKET.
- ④ CONTRACTOR TO ENSURE METER RACK WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME PRIOR TO INSTALLATION.
- ⑤ SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- ⑥ COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- ⑦ CONTRACTOR SHALL COORDINATE EFFORTS WITH (LOCAL, ELECTRICAL) AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPE(S) OF RACEWAYS REQUIRED FOR INSTALLATION.
- ⑧ BOND ALL ELECTRICAL EQUIPMENT TO RACK.
- ⑨ DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.



SERVICE RACK DETAILS

SCALE: 1/2" = 1'-0"



PROJECT INFORMATION:

SUTTON

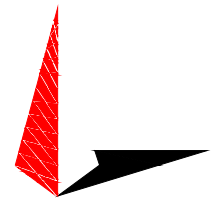
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

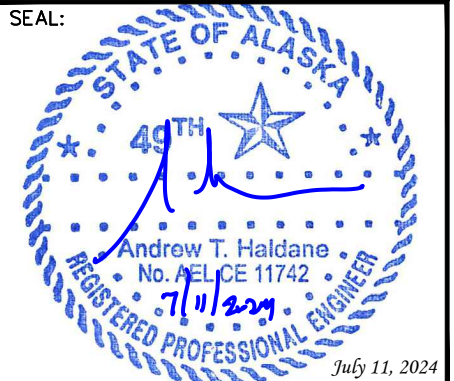
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



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4700 DAHLIA STREET
DENVER, CO 80216
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www.tepgroup.net

SEAL:



0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES | CHECKED BY: ARB

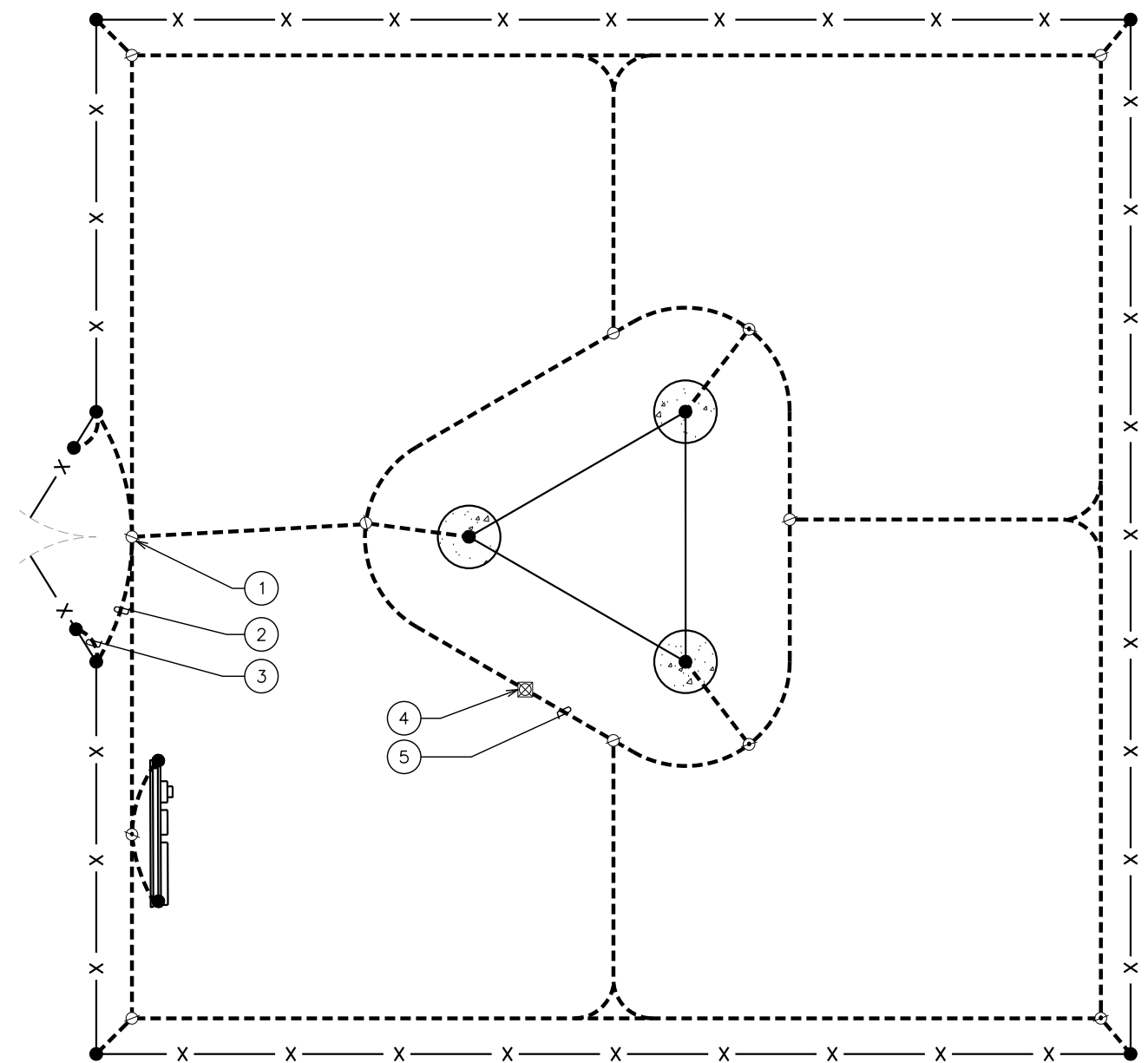
SHEET TITLE:

SERVICE RACK DETAILS

SHEET NUMBER: E-3	REVISION: 0
TEP#: 338102.423058	

DRAWING NOTES:

- ① 5/8"x10' COPPER GROUND ROD (TYP).
- ② GATE POST BONDING. SEE DETAIL ON THIS SHEET.
- ③ FENCE GATE GROUNDING. SEE DETAIL ON THIS SHEET.
- ④ PROPOSED INSPECTION WELL. SEE DETAIL ON SHEET E-5.
- ⑤ PROPOSED TOWER GROUND RING. #2 COPPER CONDUCTOR-BARE TINNED BURIED 50" BFG BY ATLAS TOWER.

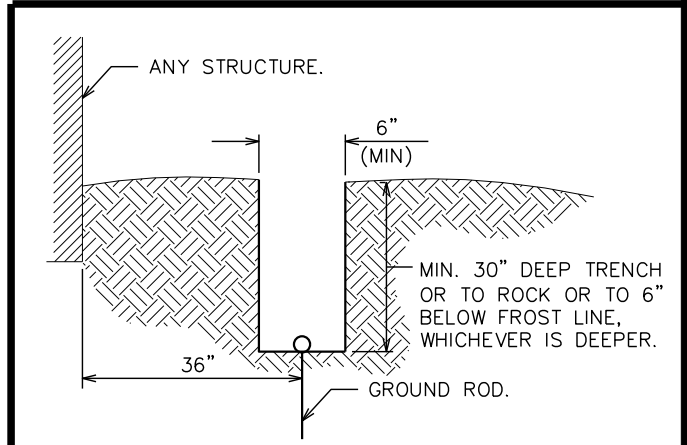


TYPICAL GROUNDING PLAN

SCALE: N.T.S.

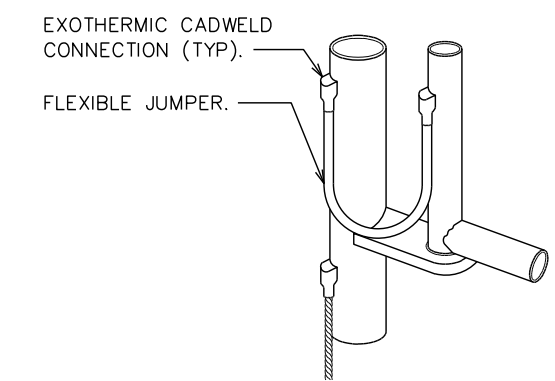
GROUNDING NOTES

- 1. GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 SOLID CONDUCTOR. THE TOP OF THE GROUND RODS AND THE CONDUCTOR SHALL BE 60" (MIN) BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS. (6'-0" MINIMUM; 16'-0" MAXIMUM)
- 2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
- 3. ROUND SHELTER TO GROUND RING PER NSTD46 CELL SITE GROUNDING AND LIGHTING PROTECTION, ISSUED 2/1/11.



TRENCH DETAIL

SCALE: N.T.S.



GROUNDING AT GATE POST

SCALE: N.T.S.

PROJECT INFORMATION:

SUTTON

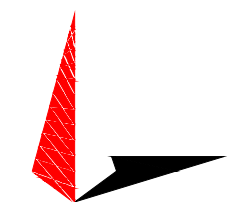
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

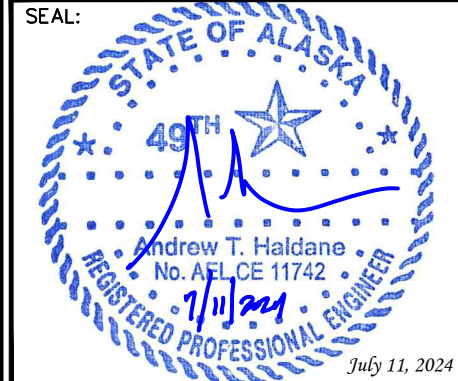
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



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DENVER, CO 80216
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SEAL:



0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

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SHEET TITLE:

GROUNDING PLAN AND DETAILS

SHEET NUMBER: | REVISION:

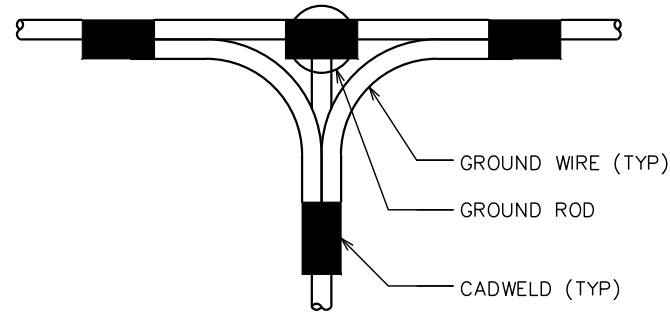
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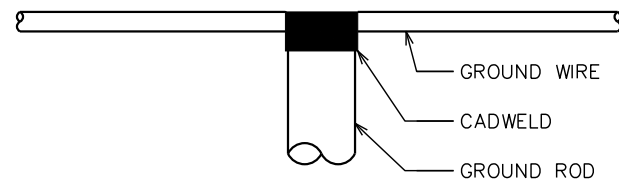
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NOTE:

MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS



TOP VIEW

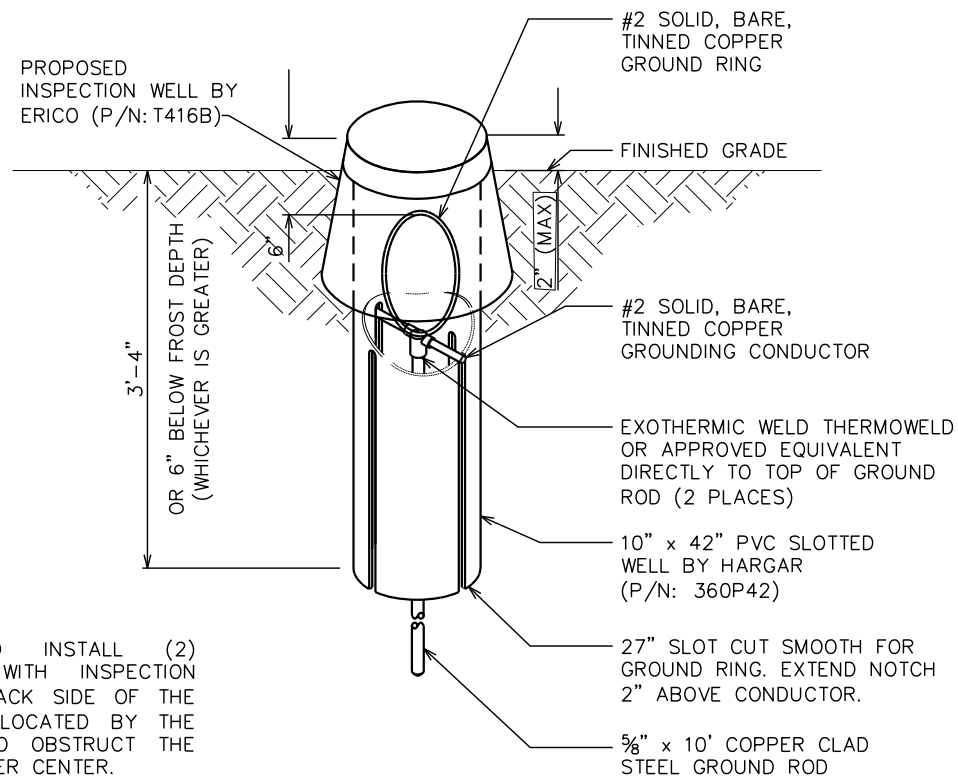


SIDE VIEW

CADWELD GROUNDING DETAIL

SCALE: N.T.S.

NOT USED

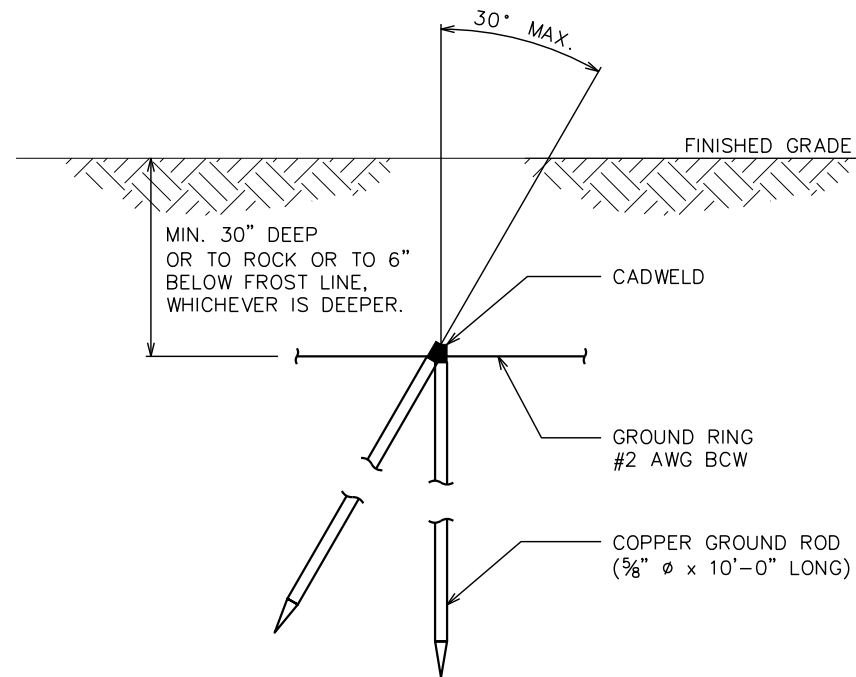


NOTE:

CONTRACTOR TO INSTALL (2) GROUND RODS WITH INSPECTION WELLS. (1) ON BACK SIDE OF THE TOWER AND (1) LOCATED BY THE H-FRAME NOT TO OBSTRUCT THE PATH TO THE METER CENTER.

INSPECTION WELL DETAIL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PROJECT INFORMATION:

SUTTON

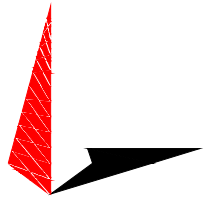
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:

ATLAS TOWER

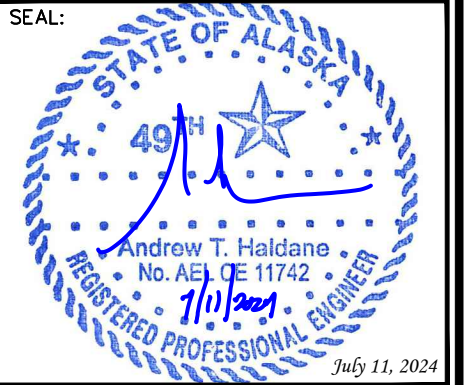
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
4700 DAHLIA STREET
DENVER, CO 80216
OFFICE: (303) 566-9914
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SEAL:



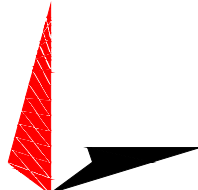
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REV	DATE	ISSUED FOR:
DRAWN BY: KES		CHECKED BY: ARB

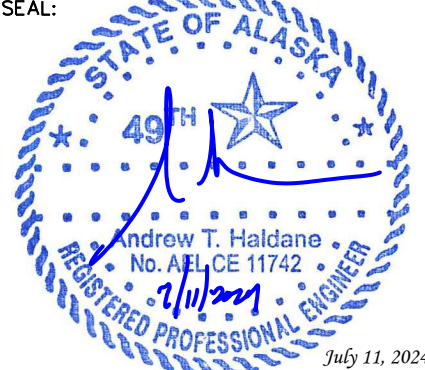
SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: E-5	REVISION: 0
TEP#:338102.423058	

PROJECT INFORMATION:
SUTTON
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH)

PLANS PREPARED FOR:
ATLAS TOWER
2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

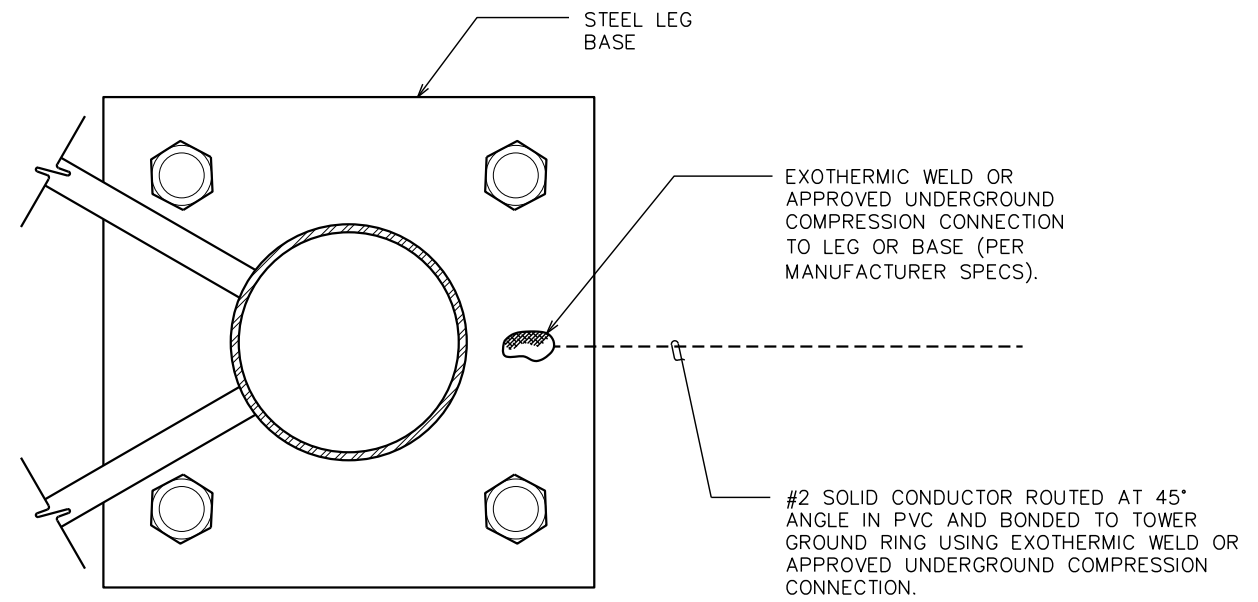
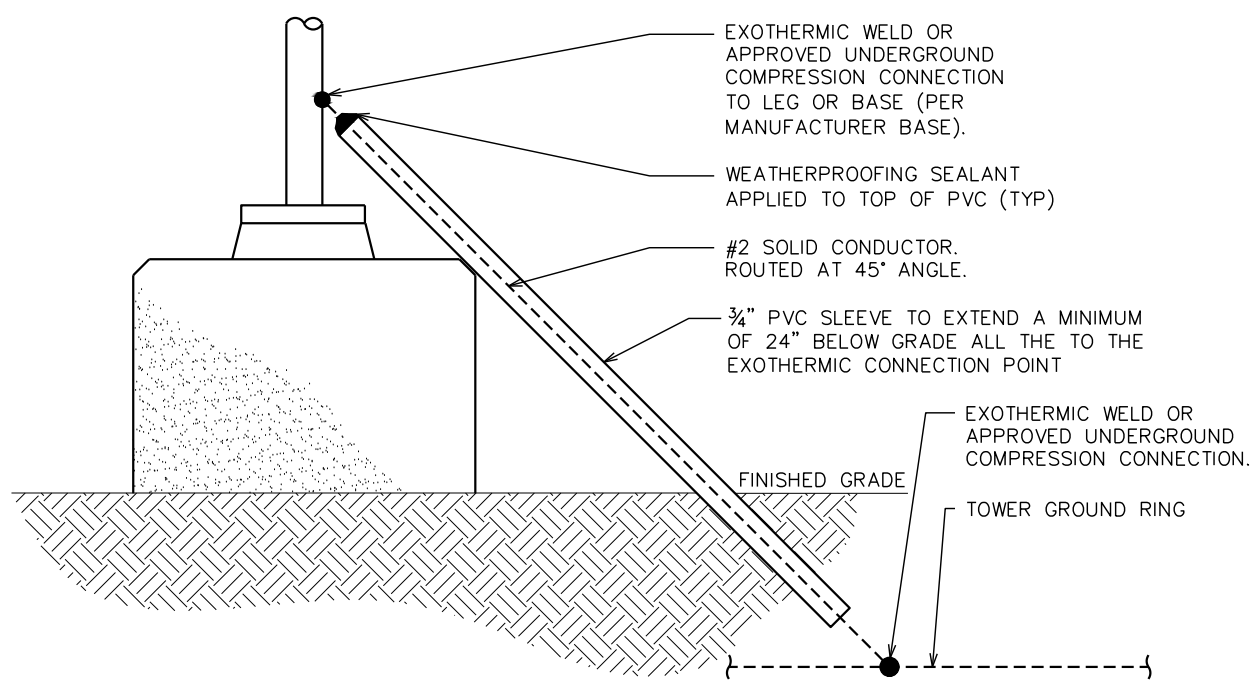
PLANS PREPARED BY:

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4700 DAHLIA STREET
DENVER, CO 80216
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SEAL:


0	07-11-24	CONSTRUCTION
REV	DATE	ISSUED FOR:
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SHEET TITLE:
**TOWER FOUNDATION
GROUNDING DETAILS**

SHEET NUMBER: **E-6**
REVISION: **0**
TEP #: 338102.423058



TYPICAL TOWER BASE GROUNDING DETAIL
SCALE: N.T.S.

TYPICAL TOWER GROUNDING
SCALE: N.T.S.

ATLAS TOWER

USA • INTERNATIONAL

SITE NAME: SUTTON
PROPOSED 125' SELF SUPPORT TOWER
MILE 58 RD
SUTTON, AK 99645
(MATANUSKA SUSITNA BOROUGH COUNTY)



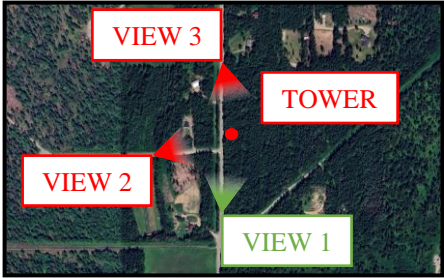
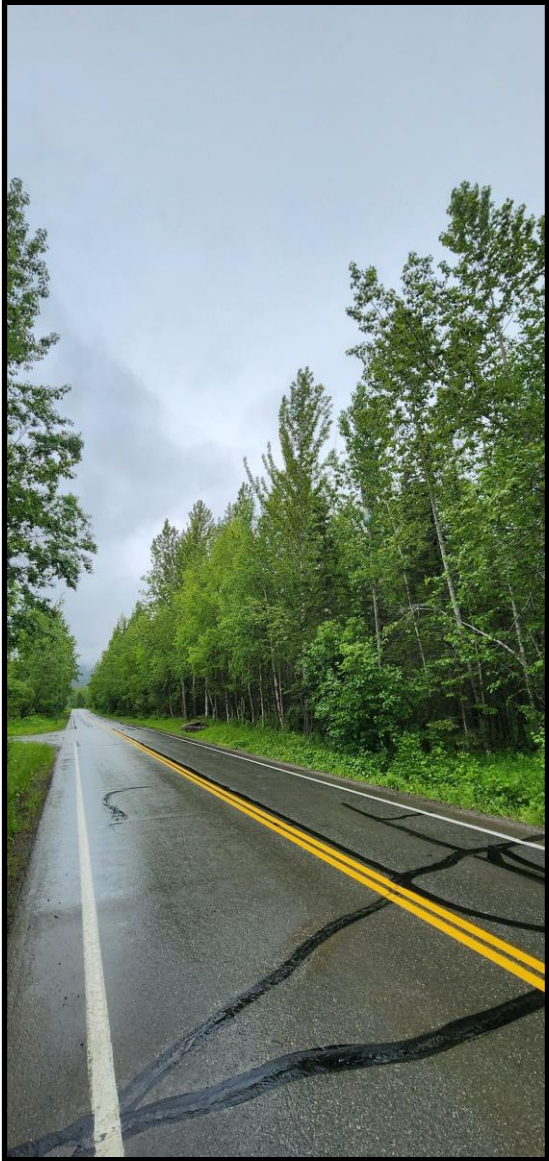
PHOTO RENDERED BY TOWER ENGINEERING PROFESSIONALS, INC.



**ATLAS
TOWER**
USA • INTERNATIONAL

SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

EXISTING VIEW: LOCATION 1

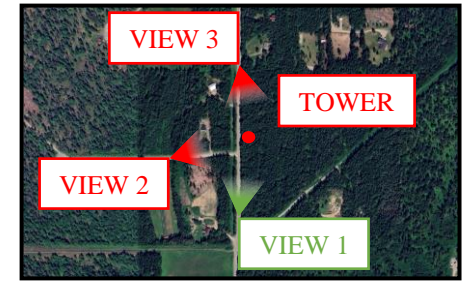
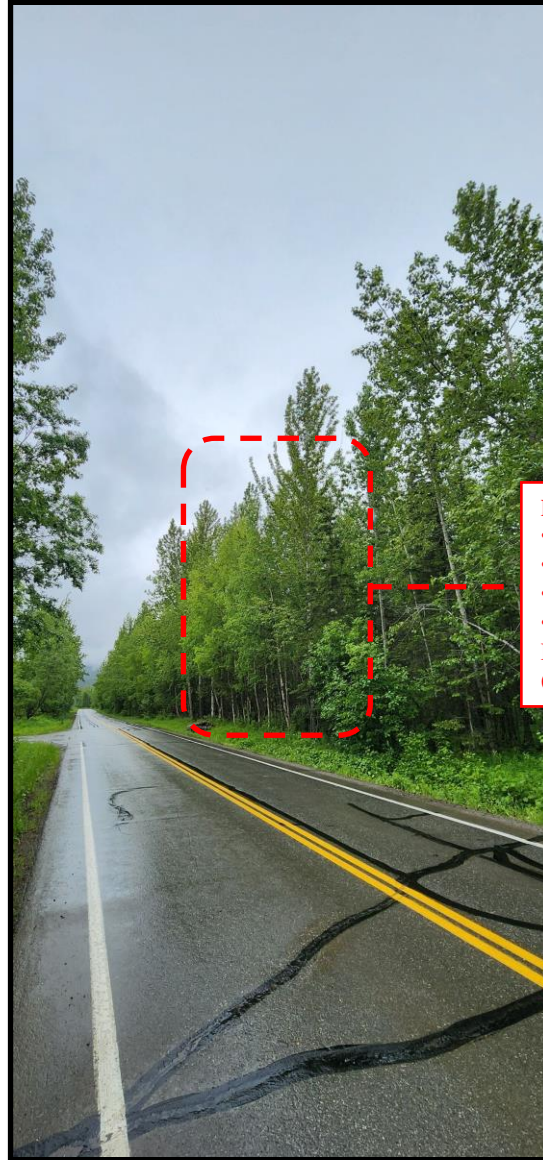


ATLAS TOWER

USA • INTERNATIONAL

SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

PROPOSED VIEW: LOCATION 1



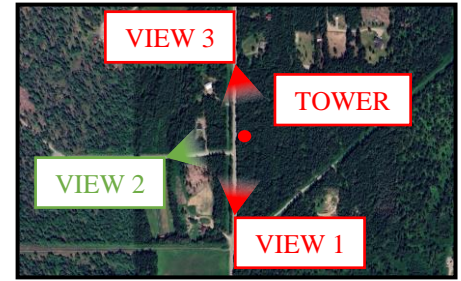
- PROPOSED 125' SELF SUPPORT TOWER (NOT VISIBLE)
- FUTURE EQUIPMENT @ 115'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 105'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 95'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 85'-0" (NOT VISIBLE)
- PROPOSED 50'x50' CHAIN LINK FENCED COMPOUND (NOT VISIBLE)

ATLAS TOWER

USA • INTERNATIONAL

SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

EXISTING VIEW: LOCATION 2

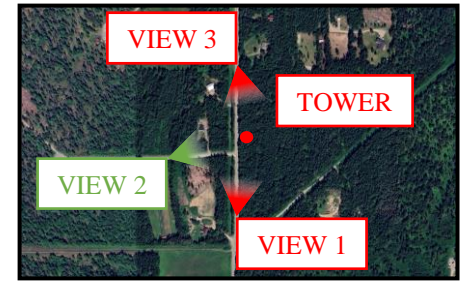
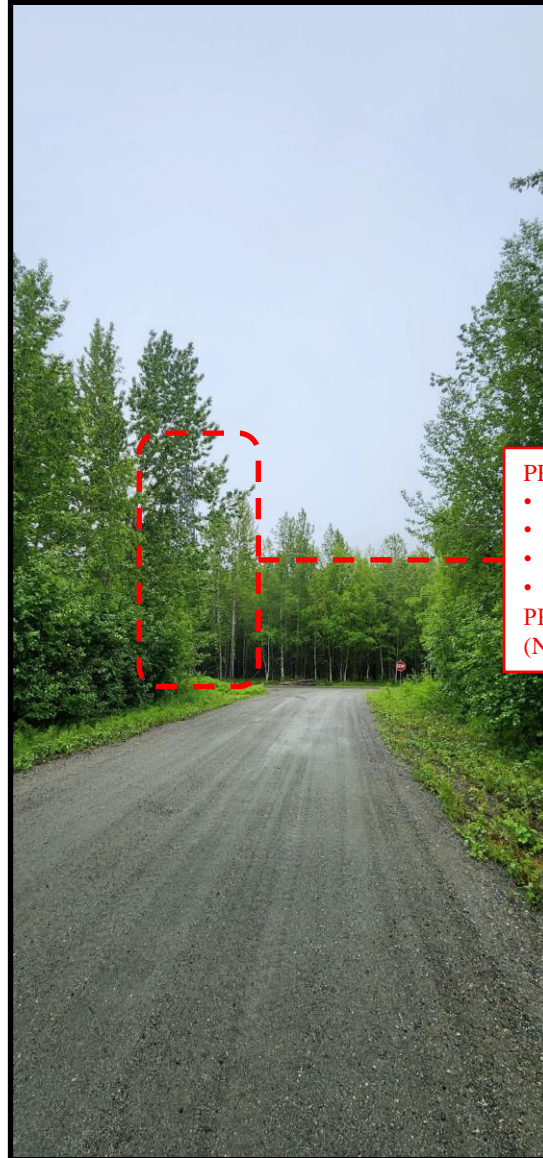


ATLAS TOWER

USA • INTERNATIONAL

SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

PROPOSED VIEW: LOCATION 2



PROPOSED 125' SELF SUPPORT TOWER

- FUTURE EQUIPMENT @ 115'-0"
- FUTURE EQUIPMENT @ 105'-0"
- FUTURE EQUIPMENT @ 95'-0"
- FUTURE EQUIPMENT @ 85'-0"

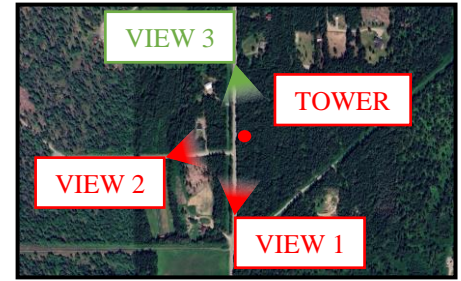
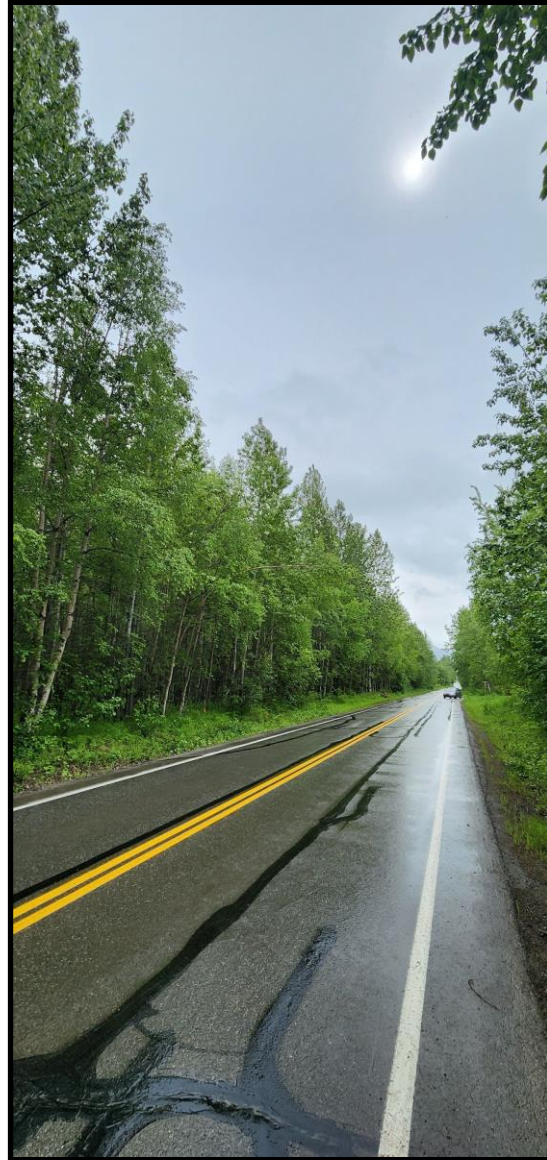
PROPOSED 50'x50' CHAIN LINK FENCED COMPOUND
(NOT VISIBLE)

ATLAS TOWER

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SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

EXISTING VIEW: LOCATION 3

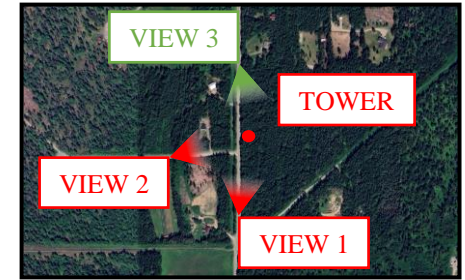
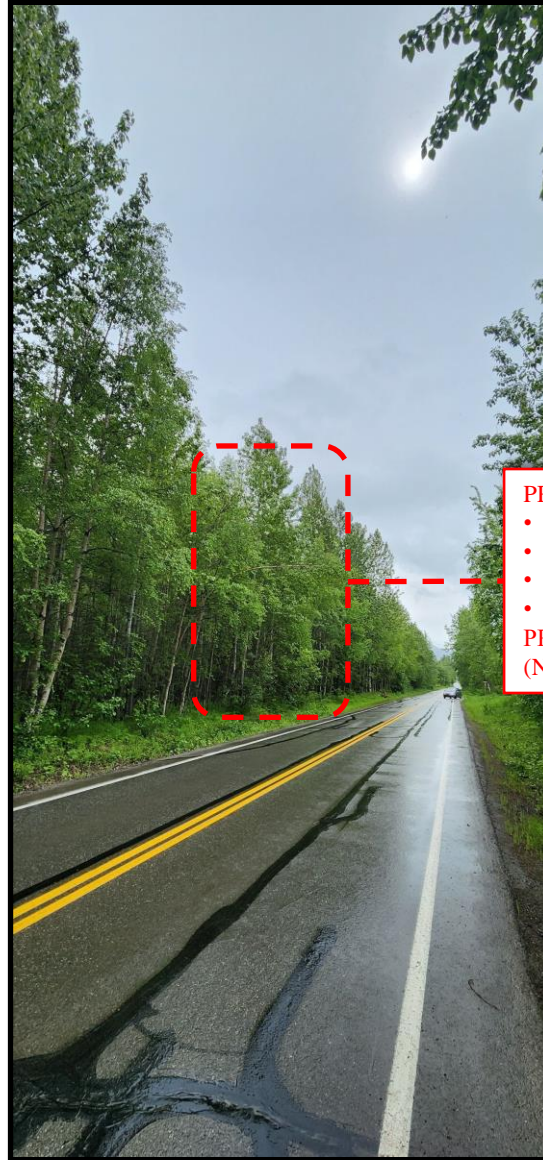


ATLAS TOWER

USA • INTERNATIONAL

SITE #:
SITE NAME: SUTTON
ADDRESS: MILE 58 RD
SUTTON, AK 99645
COUNTY: MATANUSKA SUSITNA BOROUGH

PROPOSED VIEW: LOCATION 3



PROPOSED 125' SELF SUPPORT TOWER (NOT VISIBLE)

- FUTURE EQUIPMENT @ 115'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 105'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 95'-0" (NOT VISIBLE)
- FUTURE EQUIPMENT @ 85'-0" (NOT VISIBLE)

PROPOSED 50'x50' CHAIN LINK FENCED COMPOUND (NOT VISIBLE)



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-AAL-442-OE

Issued Date: 07/30/2024

Mike Powers
Atlas Tower 1, LLC
3002 Bluff Street
Suite 300
Boulder, CO 80301

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Sutton - HOUSE
Location: Sutton, AK
Latitude: 61-42-09.70N NAD 83
Longitude: 148-58-54.00W
Heights: 843 feet site elevation (SE)
129 feet above ground level (AGL)
972 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 01/30/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO

SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (206) 231-2990, or paul.holmquist@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AAL-442-OE.

Signature Control No: 625166549-628662256

(DNE)

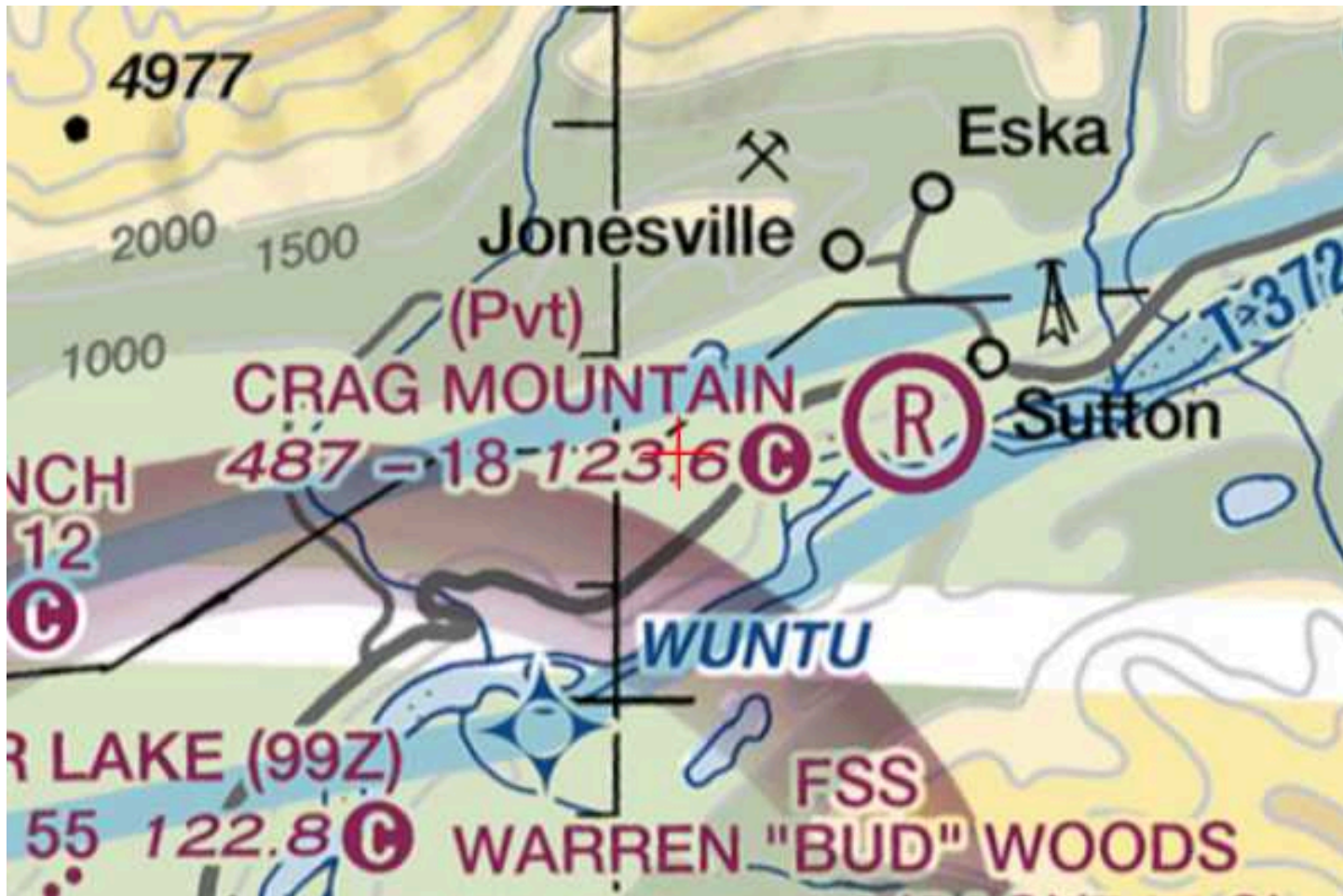
Paul Holmquist
Specialist

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2024-AAL-442-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W



From: [Corinne Lindfors](#)
To: [Rick Benedict](#); [Peggy Horton](#)
Cc: [Jason Ortiz](#)
Subject: FW: Section 106 Notification of SHPO/THPO Concurrence- Email ID #10094114
Date: Thursday, August 22, 2024 4:30:04 PM

Hi all,

Here is an FYI: Please let me know if I need to do anything else about this.

Thank you,

[Corinne Lindfors](#)
Matanuska-Susitna Borough
Development Services
Administrative Specialist
350 E. Dahlia Avenue
Palmer, Alaska 99645
Corinne.lindfors@matsugov.us
PH: (907)861-8574

From: towernotifyinfo@fcc.gov <towernotifyinfo@fcc.gov>
Sent: Thursday, August 22, 2024 4:16 PM
To: Corinne Lindfors <Corinne.Lindfors@matsugov.us>
Subject: Section 106 Notification of SHPO/THPO Concurrence- Email ID #10094114

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

This is to notify you that the Lead SHPO/THPO has concurred with the following filing:

Date of Action: 08/22/2024

Direct Effect: No Historic Properties in Area of Potential Effects (APE)

Visual Effect: No Historic Properties in Area of Potential Effects (APE)

Comment Text: None

File Number: 0011175415

TCNS Number: 282407

Purpose: New Tower Submission Packet

Notification Date: 7AM EST 07/30/2024

Applicant: Atlas Tower Companies

Consultant: Trileaf Corporation

Positive Train Control Filing Subject to Expedited Treatment Under Program Comment:

No

Site Name: Sutton AK

Site Address: Mile 58 Road

Detailed Description of Project: Our client proposes to construct a 89' self-support tower, in a new 50'x50' lease area. A new 20'wide access/utility easement will go about 130' E from Mile 58 Rd to the lease area, w/ a turnaround area on W wall of comp.

Site Coordinates: 61-42-9.8 N, 148-58-54.0 W

City: Sutton

County: MATANUSKA-SUSITNA

State:AK

Lead SHPO/THPO: Alaska DNR, Ofc History & Archeology

NOTICE OF FRAUDULENT USE OF SYSTEM, ABUSE OF PASSWORD AND RELATED MISUSE

Use of the Section 106 system is intended to facilitate consultation under Section 106 of the National Historic Preservation Act and may contain information that is confidential, privileged or otherwise protected from disclosure under applicable laws. Any person having access to Section 106 information shall use it only for its intended purpose. Appropriate action will be taken with respect to any misuse of the system.